

INTEGRATED DESIGN TEAM

Civil Grading and Drainage
Jay Engstrom, P.E.
Crystal River Civil, LLC

Landscape Architect
Jennifer M. Dolecki-Smith, RLA
Escape Garden Design, LLC

Structural Engineer
Brian Fossiter, P.E.
bwr.pe

Contractor
Adam Rothberg
Rothberg Development



312 W Hyman Ave
312 W Hyman Ave Lots P+Q,
Block 46 Aspen CO 81611 USA/
Pitkin County UGB, City of Aspen

312 W Hyman Ave Aspen CO
81611 USA

Powder Day Skiing, LLC, David A
Tarrab Mees

Account # R000145
Parcel ID # 273512464006

08/22/21 COA- HPO Site Visit

02/26/22 COA- HPC Conceptual I

04/27/22 COA- HPC Conceptual II

07/27/22 COA- HPC Final

10/12/22 COA- City Council Call Up

04/12/23 COA- HPC Substantial

06/28/23 COA- Permit Submittal

07/29/24 COA- Building comments, #4

PROJECT NO: Project No. 116

MODEL FILE:
312_W_Hyman_07292024.pln

DRAWN BY: Jeffrey H Woodruff

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SHEET TITLE

Cover Sheet

A001

SHEET 1

SHEET INDEX

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| V2 | Topographic Survey Plat |
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2 Relationship to the Neighborhood
A001

312 W Hyman Ave
Powder Day Skiing, LLC, David A Tarrab Mees
312 W Hyman Ave Lots P+Q, Block 46 Aspen CO 81611 USA/Pitkin County UGB, City of Aspen

PROJECT: Renovation, Energy Upgrades and Historic Preservation
ADDRESS: 312 W Hyman Ave, Aspen, CO 81611

COUNTY: Pitkin County
PARCEL NUMBER: 2735-124-64-006
PROJECT DESCRIPTION: Interior Renovation and Energy Upgrades, IECC Compliance

ZONING: R6 Medium Density Residential
CONSTRUCTION TYPE: VB
OCCUPANCY GROUP: RESIDENTIAL
FIRE PROTECTION: Non-sprinklered
NUMBER OF STORIES: TWO

ELEVATION 100= 7901.36'
SITE RS6 = 6000 SF

BUILDING
Currently Adopted COA I-Codes.
The client will conform with currently adopted IECC (Assemblies and Fenestration) and the updated land use code for Energy Efficiency on Earth Day 2020.

Snow-load: Up to 8000' Elevation, Elevation is 7901.36'
Building 100' as per Civil = 7901.36', Garage = 7902.86'
Roof Duration = 1.0
Seismic Design Category = B or C, as per Figure R301.2 (2) As per soil design category
Weathering probability for Concrete = Severe
Termite Infestation Probability = None to slight
Wind Speed = 115 mph (ultimate design)
Wind Exposure = B or C, Section R301.2.1.4
Frost Depth = 36", up to 8000' Elevation
Ice Barrier Underlayment = Required
Mean Annual Temp = variable
Insulation = as per Minimum R-Values per 2021 IECC, Table 402.1.1
As per State House Bill 09-1091, CO alarms are required within 15 feet of all sleeping rooms

Project summary as per Land Use Code:

- The historic building and the site remains key elements of the property and the new development does not compromise the visual integrity of the historic property; and
- The new construction is reflective of the proportional patterns found in the historic building's forms, materials and openings, or the work removes later alterations and restores the historic building to its appearance during its period of significance; and
- The project is compatible with the character of the neighborhood in which it is located; and
- Historic outbuildings site and landscape features are retained and stabilized and restored, as appropriate.

The project conforms to City of Aspen Chapter 26:
Title 26- Land Use Regulations
Part 400- Development Permit as of Right
Part 500- Supplementary Regulations

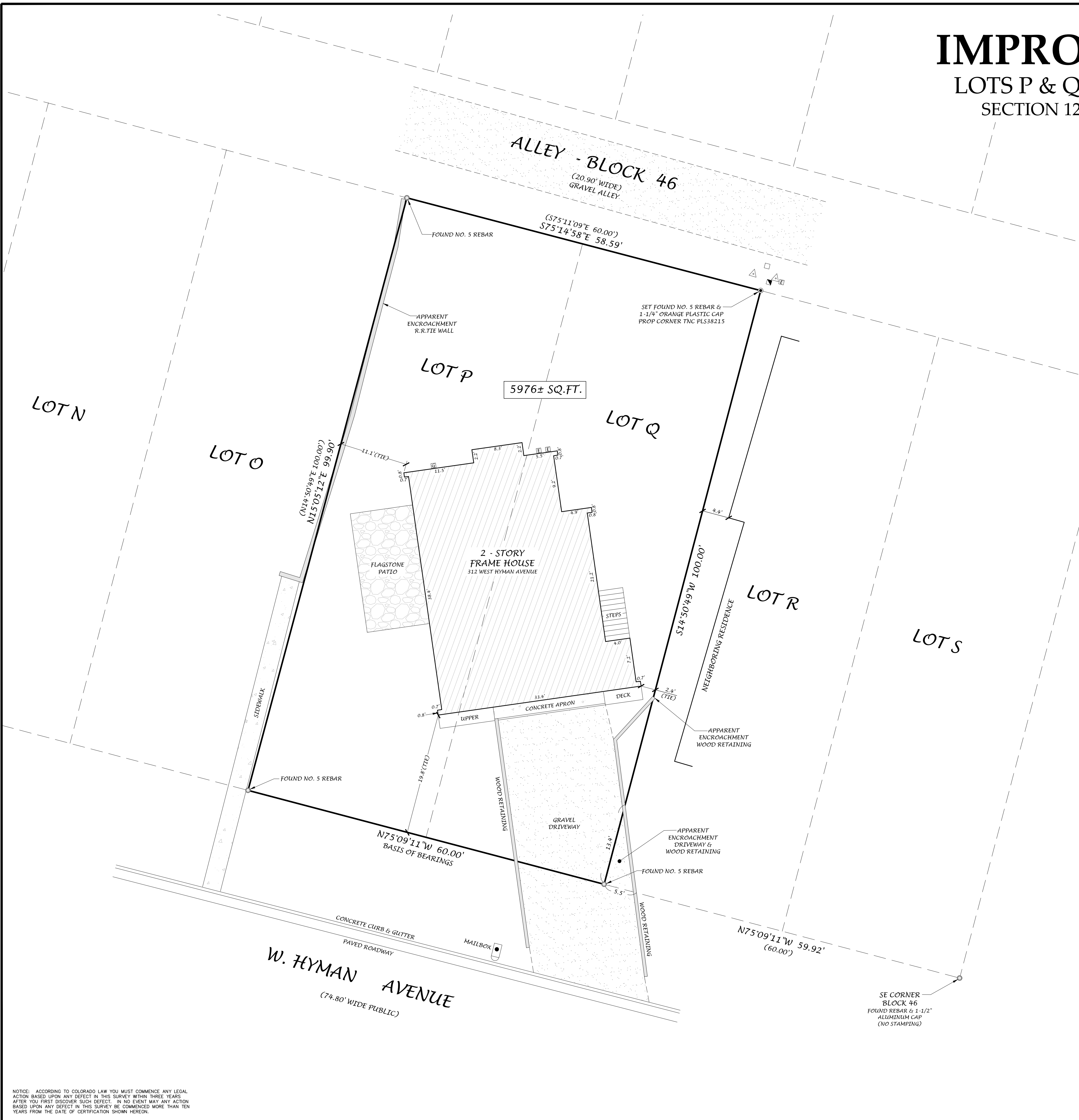
| | | | |
|----------|--------------------|-----------------|------------------------|
| A.F.F. | ABOVE FINISH FLOOR | INFO. | INFORMATION |
| ADJ. | ADJUSTABLE | INSUL. | INSULATION |
| ALT. | ALTERNATE | JST. | JOIST |
| A.B. | ANCHOR BOLTS | L.L. | LIVE LOAD |
| & | AND | LONGINT. | LONGITUDINAL |
| ARCH. | ARCHITECTURAL | N.I.C. | NOT IN CONTRACT |
| @ | AT | O.C. | ON CENTER |
| BM. | BEAM | OPP. | OPPOSITE |
| BM. PKT. | BEAM POCKET | O. | OVER |
| BRG. | BEARING | PTD. | PAINTED |
| BLCKG. | BLOCKING | PERF. | PERFORATED |
| BOT. | BOTTOM | PL. | PLATE |
| B.F. | BOTTOM OF FOOTING | PLY. | PLYWOOD |
| BLDG. | BUILDING | PROP. LINE | PROPERTY LINE |
| B.O. | BY OWNER | REIN. | REINFORCEMENT |
| CAB. | CABINET | RDWD. | REDWOOD |
| CLG. | CEILING | REQ'D. | REQUIRED |
| CL. | CENTER LINE | RESIL. | RESILIENT |
| C.T. | CERAMIC TILE | REV. | REVISED |
| CLR. | CLEAR | S.M. | SHEET METAL |
| COL. | COLUMN | SIM. | SIMILAR |
| CONC. | CONCRETE | S.F. OR SQ. FT. | SQUARE FEET |
| CONN. | CONNECTION | STD. | STANDARD |
| CONT. | CONTINUOUS | STL. | STEEL |
| DTL. | DETAIL | STDS. | STUDS |
| DBL. | DOUBLE | THK. | THICK |
| DWL. | DOWEL | TLL. | TOILET |
| E.W. | EACH WAY | T.F. | TOP OF FOOTING |
| ELEV. OR | ELEVATION | T.P. | TOP OF PLATE |
| EL. | EXISTING | T.L. | TOP OF LEDGE |
| EXIST'G | EXTERIOR | T.W. | TOP OF WALL |
| EXT. | FINISHED FLOOR | TOT. | TOTAL |
| F.F. | FLOOR DRAIN | T.B. | TOWEL BAR |
| F.D. | FLOOR | TRANSV. | TRANSVERSE |
| FLR. | FOOTING | TYP. | TYPICAL |
| FTG. | FOUNDATION | U.O. | UNLESS NOTED OTHERWISE |
| FND. | GALVE. | V.F. | VERIFY IN FIELD |
| GA. | GLU-LAM | VERT. | VERTICAL |
| G.L. | GYP-SUM WALL BOARD | V.W.C. | VINYL WALL COVERING |
| G.W.B. | GAS STUB | W.C. | WATER CLOSET |
| G.S. | HOSE BIB | W.H. | WATER HEATER |
| HB. | HEIGHT | W.P. | WATERPROOF |
| HT. | HOOK | W.R. | WATER RESISTANT |
| HK. | HORIZONTAL | WIN. | WINDOW |
| HORIZ. | HYDRANT | W/ | WITH |
| HYD. | | WD. | WOOD |

IMPROVEMENT SURVEY PLAT

LOTS P & Q - BLOCK 46, CITY AND TOWNSITE OF ASPEN

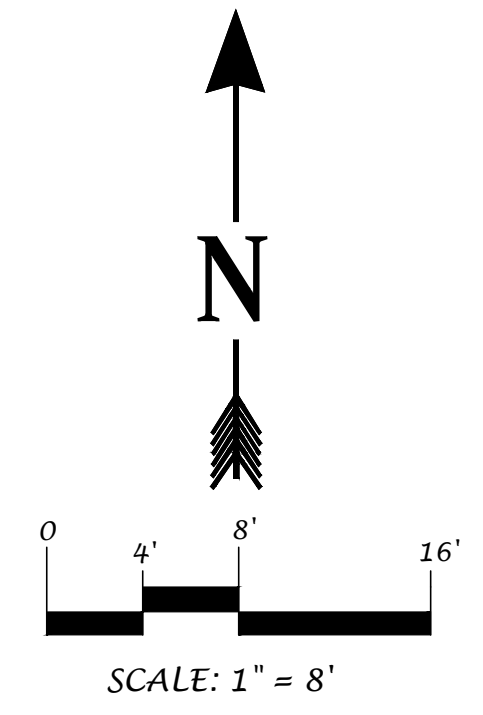
SECTION 12, TOWNSHIP 10 SOUTH, RANGE 85 WEST OF THE 6TH PM

COUNTY OF PITKIN, STATE OF COLORADO



LEGEND

- ⊠ ELECTRICAL METER
- ⊞ GAS METER
- ⊠ TELEPHONE PEDESTAL
- ⊠ ELECTRIC PEDESTAL
- ⊠ CATV PEDESTAL



PROPERTY DESCRIPTION:

LOTS P AND Q, BLOCK 46, CITY AND TOWNSITE OF ASPEN,
 COUNTY OF PITKIN
 STATE OF COLORADO

SCHEDULE B PART II TITLE EXCEPTIONS:

- EXCEPTIONS 1 THROUGH 6 & 9 ARE STANDARD TITLE EXCEPTIONS.
- 10.) THIS PROPERTY IS SUBJECT TO EXCEPTIONS AND RESERVATIONS AS SET FORTH IN THE ACT AUTHORIZING THE ISSUANCE OF THE PATENT FOR THE CITY AND TOWNSITE OF ASPEN, DATED JANUARY 29, 1897 AND RECORDED MARCH 1, 1897 IN BOOK 139 AT PAGE 216 AS RECEPTION NO. 060156.
 - 11.) THIS PROPERTY IS SUBJECT TO TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER AN ORDINANCE ACCEPTING A MAP ENTITLED "OFFICIAL MAP OF THE CITY OF ASPEN, PITKIN COUNTY, STATE OF COLORADO," AS THE OFFICIAL MAP OF THE CITY OF ASPEN, PROVIDING FOR DEDICATION OF ALL STREETS AND ALLEYS, EXCEPT SUCH STREETS AND ALLEYS HERETOFORE VACATED, AND PROVIDING FOR THE FILING OF SAID MAP, FIELD NOTES, AND SUPPLEMENTAL PLATS WITH THE CLERK AND RECORDER FOR PITKIN COUNTY (ORDINANCE NO. 6, SERIES OF 1959) DATED NOVEMBER 16, 1959, AND RECORDED DECEMBER 18, 1959, AS RECEPTION NO. 109043.
 - 12.) THIS PROPERTY IS SUBJECT TO ANY AND ALL NOTES, EASEMENTS AND RECITALS AS DISCLOSED ON THE OFFICIAL MAP OF THE CITY OF ASPEN, RECORDED DECEMBER 16, 1959 AS RECEPTION NO. 109023.
 - 13.) THIS PROPERTY IS SUBJECT TO ANY AND ALL NOTES, EASEMENTS AND RECITALS AS DISCLOSED ON THE WILLETS MAP NOVEMBER 12, 1969 IN PLAT BOOK 4 AT PAGE 27 AS RECEPTION NO. 137902.
 - 14.) THIS PROPERTY IS SUBJECT TO TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER ORDINANCE NO. 45 (SERIES OF 2006) RECORDED MARCH 28, 2007, AS RECEPTION NO. 535861. HISTORIC DESIGNATION.
 - 15.) THIS PROPERTY IS SUBJECT TO ANY AND ALL NOTES, ENCROACHMENTS, EASEMENTS AND RECITALS AS DISCLOSED ON THE IMPROVEMENT & TOPOGRAPHIC SURVEY PLAT DATED FEBRUARY 1, 2019, AND RECORDED JANUARY 29, 2020 IN PLAT BOOK 127 AT PAGE 40 AS RECEPTION NO. 662367, INCLUDING BUT NOT LIMITED TO THE GRAVEL DRIVEWAY AND WOOD RETAINING WALL ONTO LOT R.
 - 16.) THIS PROPERTY IS SUBJECT TO ANY EXISTING LEASES OR TENANCIES, AND ANY AND ALL PARTIES CLAIMING BY, THROUGH OR UNDER SAID LESSEES.

SURVEY NOTES:

1. BASIS OF BEARINGS FOR THIS SURVEY IS A BEARING OF N75°09'11"W BETWEEN A FOUND NO. 5 REBAR AS SHOWN HEREON.
2. DATE OF FIELD SURVEY: JANUARY 15, 2019. AT THE TIME OF THE FIELD SURVEY THERE WAS 4"+ OF SNOW ON THE GROUND.
3. LINEAR UNITS USED TO PERFORM THIS SURVEY WERE U.S. SURVEY FEET.
4. THIS SURVEY IS BASED ON THE OFFICIAL MAP OF THE CITY OF ASPEN DATED DECEMBER 18, 1959 AS RECEPTION NO. 109043, THE PLAT OF RESUBDIVIDED LOTS K, L, M, N, O, BLOCK 46 RECORDED JANUARY 15, 1982 IN PLAT BOOK 12 AT PAGE 54 AND CORNERS FOUND IN PLACE AS SHOWN HEREON.
5. THIS IMPROVEMENT SURVEY PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY TRUE NORTH COLORADO, LLC. FOR ALL INFORMATION REGARDING EASEMENT, RIGHTS-OF-WAY AND/OR TITLE OF RECORD, TRUE NORTH COLORADO, LLC RELIED UPON TITLE COMMITMENT NO. 20004656 ISSUED BY ATTORNEYS TITLE INSURANCE AGENCY OF ASPEN, LLC, EFFECTIVE DATE: APRIL 9, 2021.
6. BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE OF RECORD SHOWN ON THE OFFICIAL MAP OF THE CITY OF ASPEN DATED NOVEMBER 16, 1959.

SURVEYOR'S CERTIFICATION

I, RODNEY P. KISER, HEREBY CERTIFY TO POWDERDAYSKIING, LLC, ATTORNEYS TITLE INSURANCE AGENCY OF ASPEN, LLC AND FIDELITY NATIONAL TITLE INSURANCE THAT THIS IS AN IMPROVEMENT SURVEY PLAT, AS DEFINED BY C.R.S. § 38-51-102(9) AND THAT IT IS A MONUMENTED LAND SURVEY SHOWING THE LOCATION OF ALL STRUCTURES, VISIBLE UTILITIES, FENCES, HEDGES, OR WALLS SITUATED ON THE DESCRIBED PARCEL AND WITHIN FIVE FEET OF ALL BOUNDARIES OF SUCH PARCEL, ANY CONFLICTING BOUNDARY EVIDENCE OR VISIBLE ENCROACHMENTS, AND ALL EASEMENTS, UNDERGROUND UTILITIES, AND TUNNELS DESCRIBED IN ATTORNEYS TITLE INSURANCE AGENCY OF ASPEN, LLC AS AGENT FOR FIDELITY NATIONAL TITLE INSURANCE COMPANY'S COMMITMENT FOR TITLE INSURANCE, CASE NO. 20004656, DATED: APRIL 9, 2021, OR OTHER SOURCES AS SPECIFIED ON THE IMPROVEMENT SURVEY PLAT.

RODNEY P. KISER
 LICENSED PROFESSIONAL LAND SURVEYOR
 COLORADO REGISTRATION NO. 38215

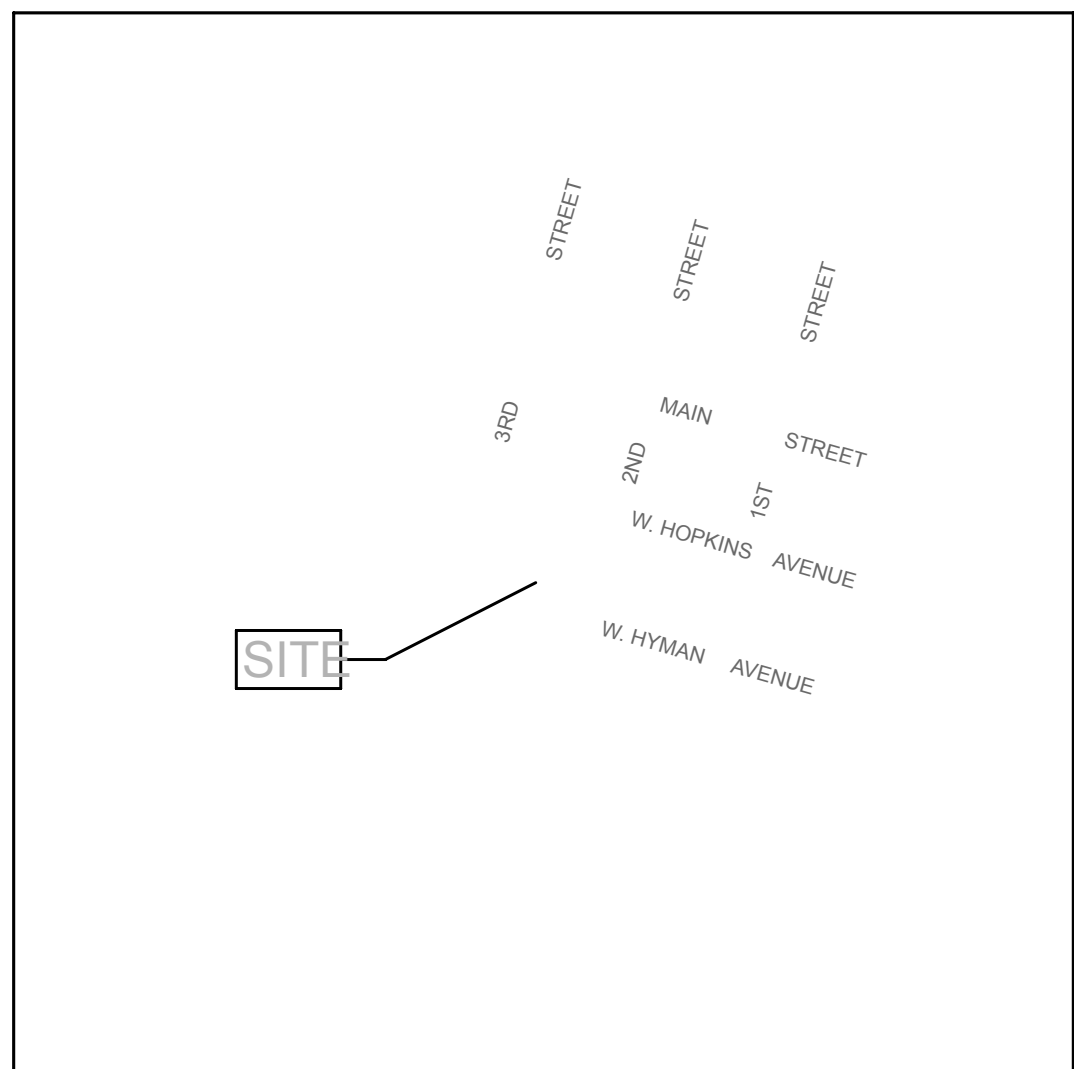
REVISED: APRIL 13, 2021; UPDATED TITLE COMMITMENT AND CERTIFICATION.
 REVISED: JANUARY 30, 2019; UPDATED TITLE COMMITMENT AND CERTIFICATION.

| | |
|---|--|
| TRUE NORTH COLORADO A LAND SURVEYING AND MAPPING COMPANY | CITY OF ASPEN IMPROVEMENT SURVEY PLAT LOTS P & Q - BLOCK 46 CITY OF ASPEN COUNTY OF PITKIN - STATE OF COLORADO |
| | RODNEY P. KISER LICENSED PROFESSIONAL LAND SURVEYOR COLORADO REGISTRATION NO. 38215 |
| PROJECT NO: 2019-104 DATE: JANUARY 18, 2019 | DRAWN: RPK SURVEYED: LDV SHEET: 1 OF 1 |
| TRUE NORTH COLORADO LLC. A LAND SURVEYING AND MAPPING COMPANY PO BOX 614 - 529 S. WILD HORSE DRIVE NEW CASTLE, COLORADO 81647 (970) 984-0474 www.truenorthcolorado.com | |

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

IMPROVEMENT & TOPOGRAPHIC SURVEY PLAT

LOTS P & Q - BLOCK 46, CITY AND TOWNSITE OF ASPEN
SECTION 12, TOWNSHIP 10 SOUTH, RANGE 85 WEST OF THE 6TH PM
COUNTY OF PITKIN, STATE OF COLORADO



VICINITY MAP
SCALE: 1" = 500'

| TREE CHART | | | |
|------------|------------|------|------|
| TREE DRIP | TYPE | SIZE | SIZE |
| 1 | CONIFEROUS | 30" | 40' |
| 2 | CONIFEROUS | 16" | 32' |
| 3 | CONIFEROUS | 22" | 32' |
| 4 | CONIFEROUS | 20" | 30' |
| 5 | CONIFEROUS | 24" | 30' |
| 6 | ASPEN | 6" | 12' |
| 7 | ASPEN | 8" | 16' |
| 8 | ASPEN | 8" | 16' |
| 9 | ASPEN | 8" | 16' |
| 10 | ASPEN | 16" | 32' |
| 11 | CONIFEROUS | 40" | 40' |
| 12 | ASPEN | 8" | 16' |
| 13 | ASPEN | 6" | 12' |
| 14 | ASPEN | 8" | 16' |
| 15 | ASPEN | 8" | 16' |
| 16 | ASPEN | 16" | 32' |

ZONING:

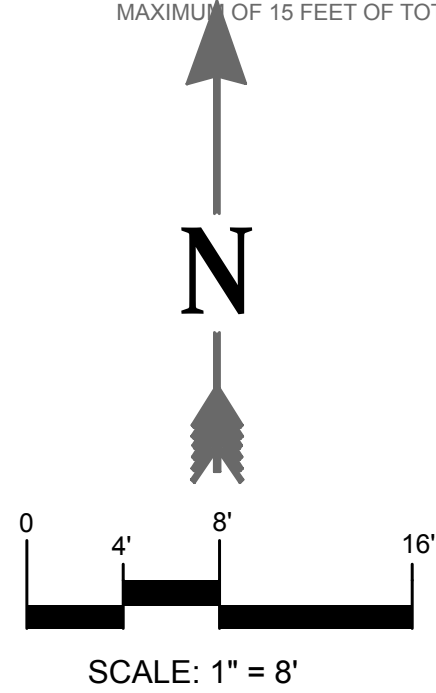
CITY OF ASPEN LAND USE CODE: R-6

SETBACKS

FRONT YARD:
PRINCIPAL BUILDINGS: 10 FEET
ACCESSORY BUILDINGS: 15 FEET

REAR YARD:
PRINCIPAL BUILDINGS: 10 FEET
PRINCIPAL BUILDING USED SOLELY AS GARAGE: 5 FEET
ACCESSORY BUILDINGS: 5 FEET

SIDE YARD:
MINIMUM: 5 FEET
10 FEET, PLUS 1 FOOT FOR EACH ADDITIONAL 300 SQUARE FEET OF GROSS LOT AREA, TO A MAXIMUM OF 15 FEET OF TOTAL SIDE YARD



SCALE: 1" = 8'

PROPERTY DESCRIPTION:

SURVEY NOTES:

- DATE OF BEARINGS FOR THIS SURVEY IS A BEARING OF N75°09'11"W BETWEEN A FOUR FEET REBAR AS SHOWN HEREON.
- DATE OF FIELD SURVEY: JANUARY 15, 2019 AND JANUARY 25, 2019. AT THE TIME OF THE SURVEY THERE WAS 4"+ OF SNOW ON THE GROUND.
- THIS SURVEY IS BASED ON THE OFFICIAL MAP OF THE CITY OF ASPEN DATED DECEMBER 15, 1982 IN PLAT BOOK 12 AT PAGE 54 AND CORNERS FOUND IN PLACE AS SHOWN HEREON.
- THIS IMPROVEMENT SURVEY PLAT DOES NOT CONSTITUTE A TITLE SEARCH BY TRUE NORTH COLORADO, LLC. FOR ALL INFORMATION REGARDING EASEMENT, RIGHTS-OF-WAY AND/OR TITLE OF RECORD, TRUE NORTH COLORADO, LLC. RELIED UPON TITLE COMMITMENT NO. 18003943 ISSUED BY ATTORNEYS TITLE INSURANCE AGENCY OF ASPEN, LLC, EFFECTIVE DATE: JANUARY 22, 2019.
- COUNTY BEARINGS AND DISTANCES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE OF RECORD SHOWN ON THE OFFICIAL MAP OF THE CITY OF ASPEN DATED NOVEMBER 16, 1959.
- THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE X WHICH ARE AREAS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) ACCORDING TO FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 08097C023C WITH AN EFFECTIVE DATE OF JUNE 4, 1987.
- THERE ARE NO NATURAL HAZARDS THAT EXIST ON THE SUBJECT PROPERTY.
- NATURAL SLOPES ARE BETWEEN 0% TO 15% OVER THE ENTIRE SITE.
- BASED ON 1958 CITY OF ASPEN TOPOGRAPHY THE SUBJECT PROPERTY DOES NOT APPEAR TO BE MANIPULATED FROM HISTORIC GRADE.

SURVEYOR'S CERTIFICATION

I, RODNEY P. KISER, HEREBY CERTIFY TO HENRY LAMBERT & CAREY BOND THAT THIS IS AN "IMPROVEMENT SURVEY PLAT" AS DEFINED BY C.R.S. 38-51-102(9) AND THAT IT IS A MONUMENTED LAND SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE SHOWING THE LOCATION OF ALL STRUCTURES, VISIBLE UTILITIES, FENCES, HEDGES, OR WALLS SITUATED ON THE DESCRIBED PARCEL, AND WITHIN FIVE FEET OF ALL BOUNDARIES OF SUCH PARCEL, ANY CONFLICTING BOUNDARY EVIDENCE OR VISIBLE ENCROACHMENTS, AND ALL EASEMENTS, UNDERGROUND UTILITIES, AND TUNNELS DESCRIBED IN THE ATTORNEYS TITLE INSURANCE AGENCY OF ASPEN, LLC COMMITMENT FOR TITLE INSURANCE COMMITMENT NO. 18003943, OR OTHER SOURCES AS SPECIFIED ON THE IMPROVEMENT SURVEY PLAT. LINEAR ERROR OF CLOSURE IS LESS THAN 1:15,000.

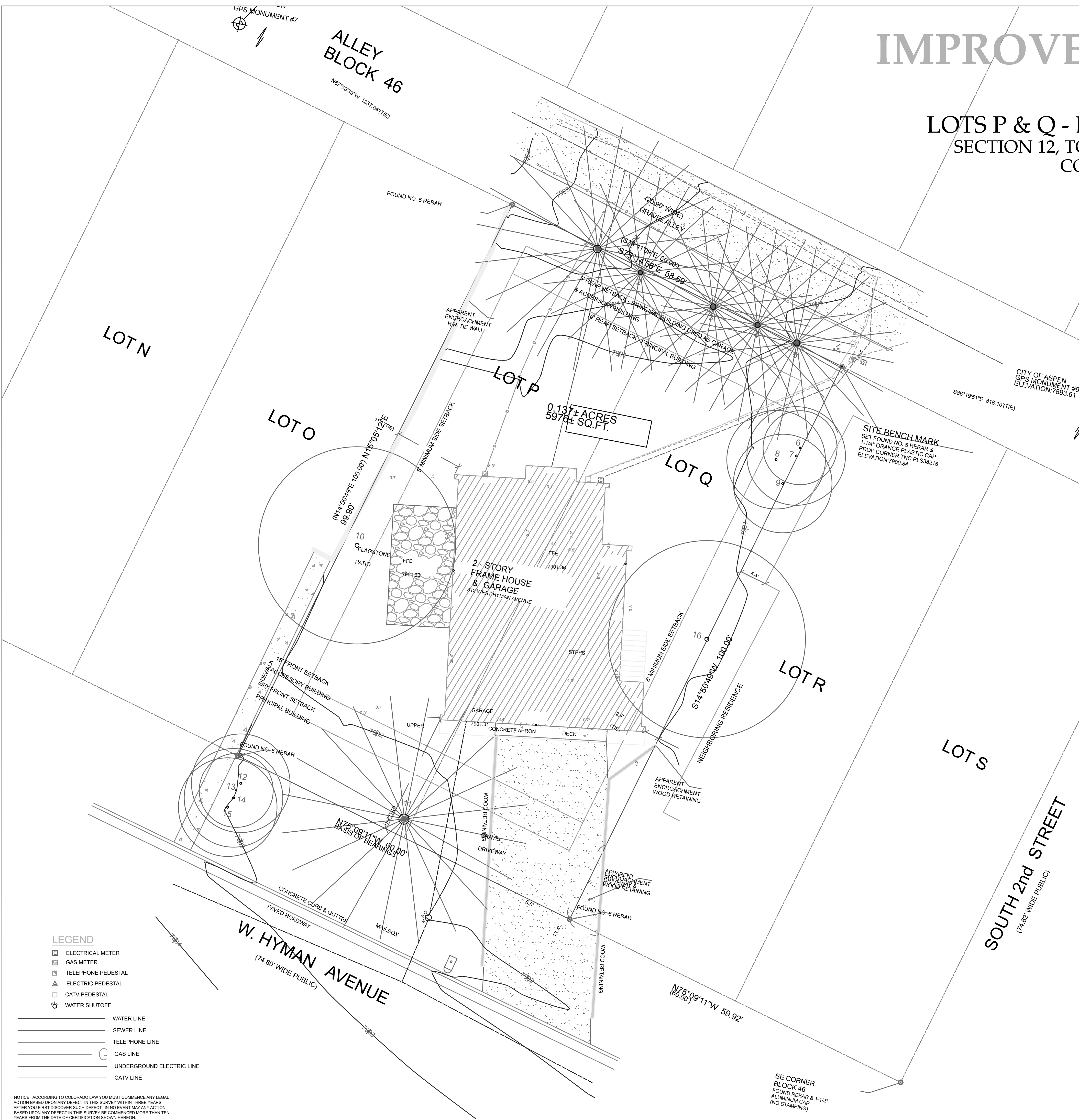
RODNEY P. KISER
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COLORADO REGISTRATION NO. 38215

HENRY LAMBERT & CAREY BOND
IMPROVEMENT & TOPOGRAPHIC SURVEY PLAT
LOTS P & Q - BLOCK 46 CITY OF ASPEN
COUNTY OF PITKIN - STATE OF COLORADO



TRUE NORTH COLORADO LLC.
A LAND SURVEYING AND MAPPING COMPANY
PO BOX 614 - 529 S. WILD HORSE DRIVE
NEW CASTLE, COLORADO 81647
(970) 984-0474
www.truenorthcolorado.com

| | | |
|-------------------|--------------------------|-------------------|
| DRAWN BY RJK | DATE 2/10/19 | SCALE AS SHOWN |
| CHECKED BY LDV | DATE FEBRUARY 1, 2019 | |



LEGEND

- ELECTRICAL METER
- GAS METER
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- CATV PEDESTAL
- WATER SHUTOFF
- WATER LINE
- SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC LINE
- CATV LINE

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SE CORNER
BLOCK 46
FOUND REBAR & 1-1/2"
ALUMINUM CAP
(NO STAMPING)

INTEGRATED DESIGN TEAM

Civil Grading and Drainage
Jay Engstrom, P.E.
Crystal River Civil, LLC

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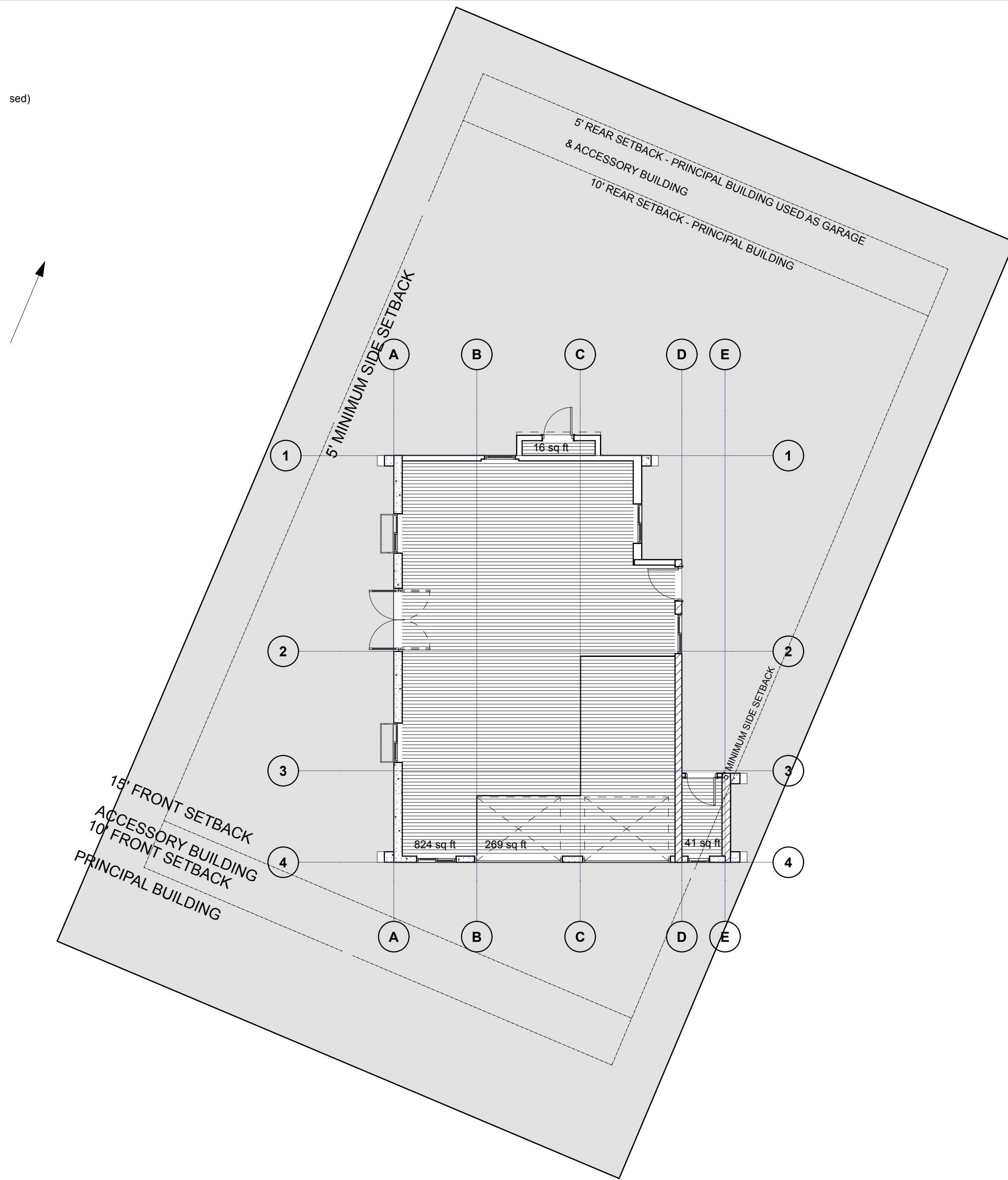
PROJECT NO: Project No. 116
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DRAWN BY: Jeffrey H Woodruff
COPYRIGHT:

SHEET TITLE

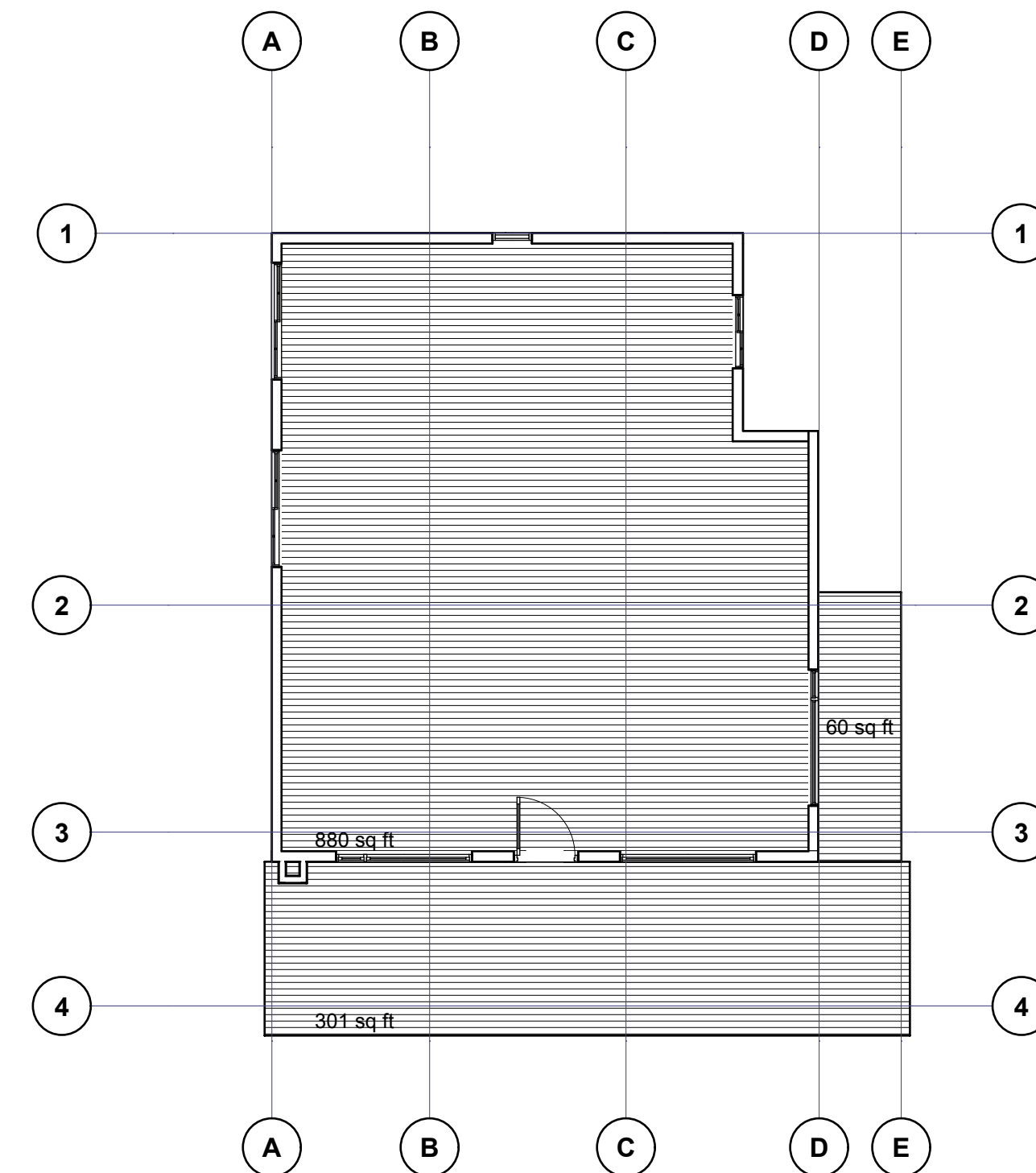
Floor Area Calculations

Z001

SHEET 26



1
Z001 Existing Main Level Floor Area
SCALE: 1/8" = 1'-0"



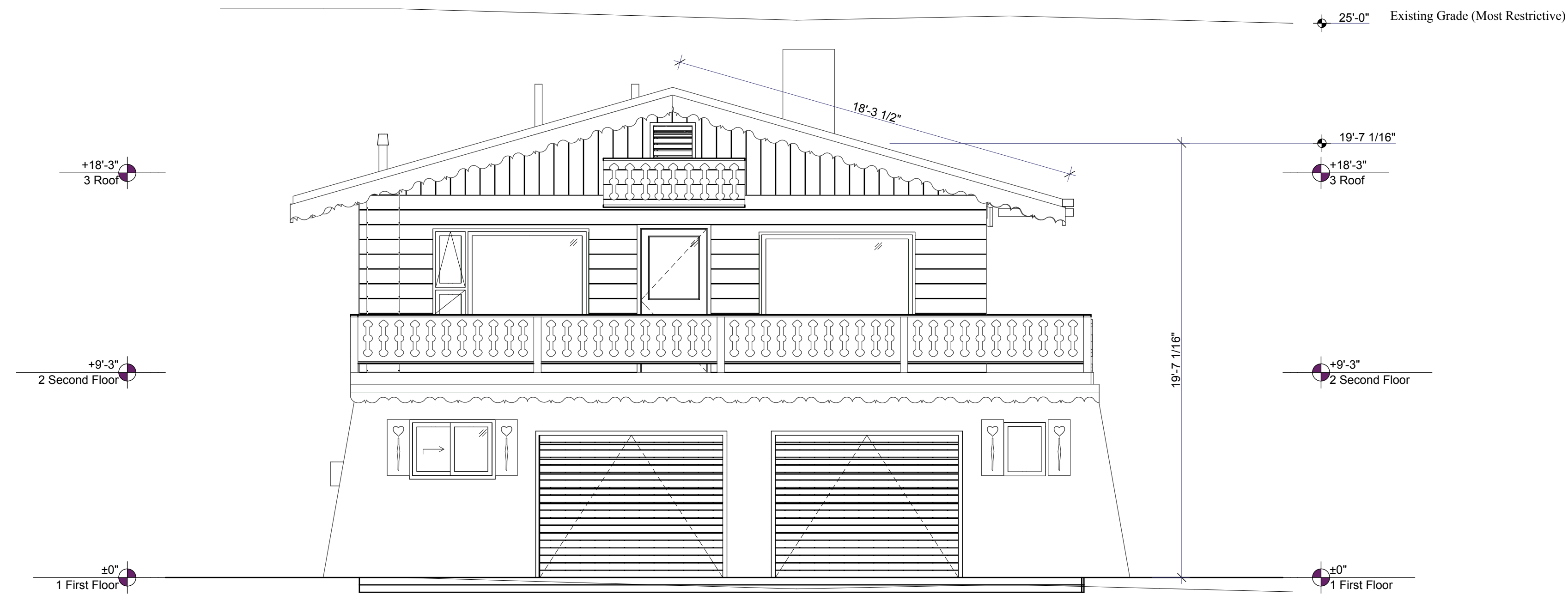
2
Z001 Existing Second Level Floor Area
SCALE: 1/8" = 1'-0"

| Floor Area Calculations | |
|--|-------|
| City of Aspen 312 W Hyman Zoning Submission | |
| Existing Main Level Floor Area Calculations | |
| Main Level Gross Floor Area (Sq Ft) | 824 |
| Garage is 269 Sq Ft, attached | |
| Main Level Countable Floor Area (Sq Ft) | 1,091 |
| Existing Deck/Porch Floor Area Calculations | |
| Front Porch Gross Floor Area (Sq Ft) | 301 |
| Exempt per 26.575.020.D5, Structural Stairs 60 Sq Ft | |
| Deck/Porch Countable Floor Area (Sq Ft) | 0 |
| Exempt per 15% of allowable, 15% of 3,340 = 486 | |
| Total Existing Floor Area Calculations | |
| Sub-grade Floor Area (Sq Ft) | 0 |
| Lower Level Floor Area (Sq Ft) | 880 |
| Main Level Floor Area (Sq Ft) | 769 |
| Subtracted Stairs at upper level | |
| Deck/Porch Floor Area (Sq Ft) | 0 |
| Total Existing Floor Area (Sq Ft) | 1,699 |

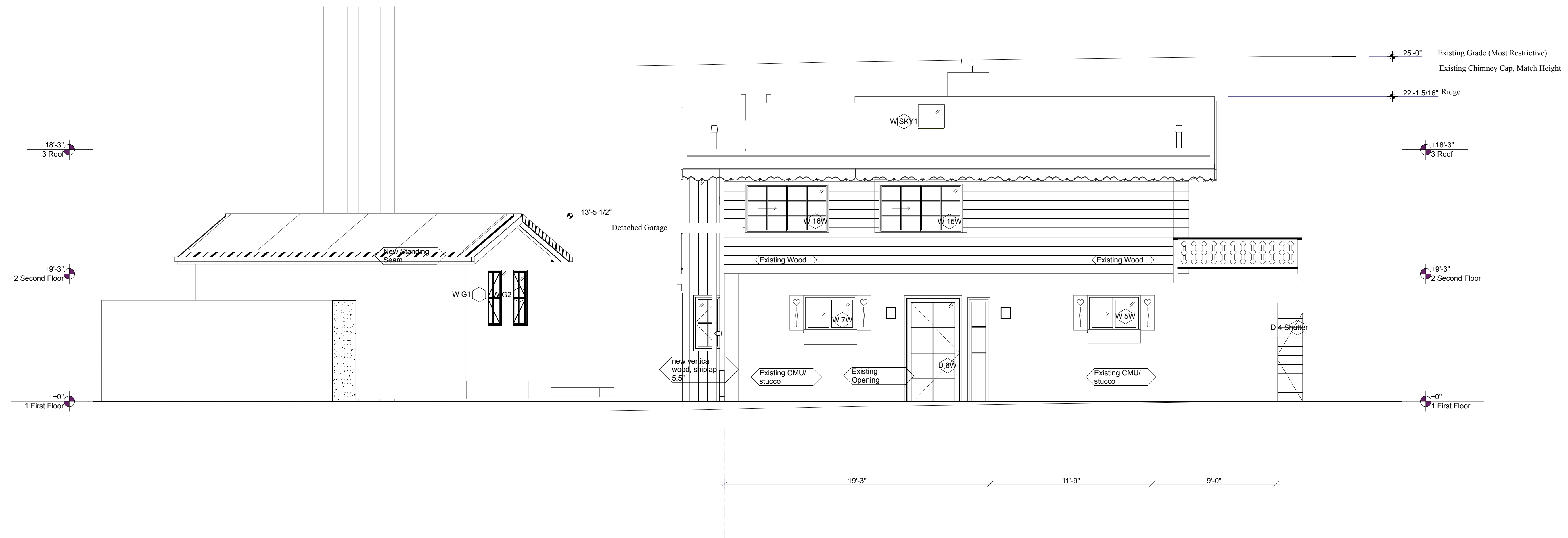
3
Z001 Floor Area Calculations Spring 2023
SCALE: 1' = 1'-0"

Zoning Note:
Height Measurement (Z002): since the ridge line of the structure is below the height maximum, this works.

Zone District Height Limit
Per 26.710.040 Medium Density Residential R-6
Maximum Height 25'



2
Z003 Existing South Elevation
SCALE: 1/4" = 1'-0"



1
Z003 West Elevation Height
SCALE: 1/4" = 1'-0"

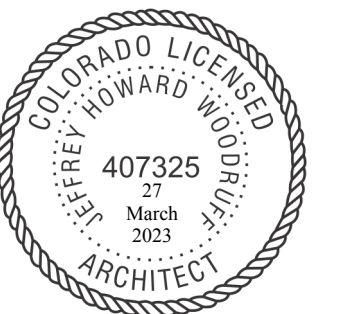
INTEGRATED DESIGN TEAM

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Rothberg Development



312 W Hyman Ave
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312 W Hyman Ave Aspen CO
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Powder Day Skiing, LLC, David A
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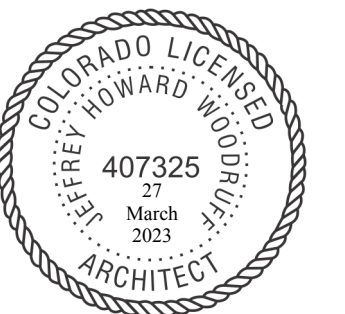
Height Measurements

Z003

SHEET 28

INTEGRATED DESIGN TEAM

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**Wall Demolition
Calculations**

Z004

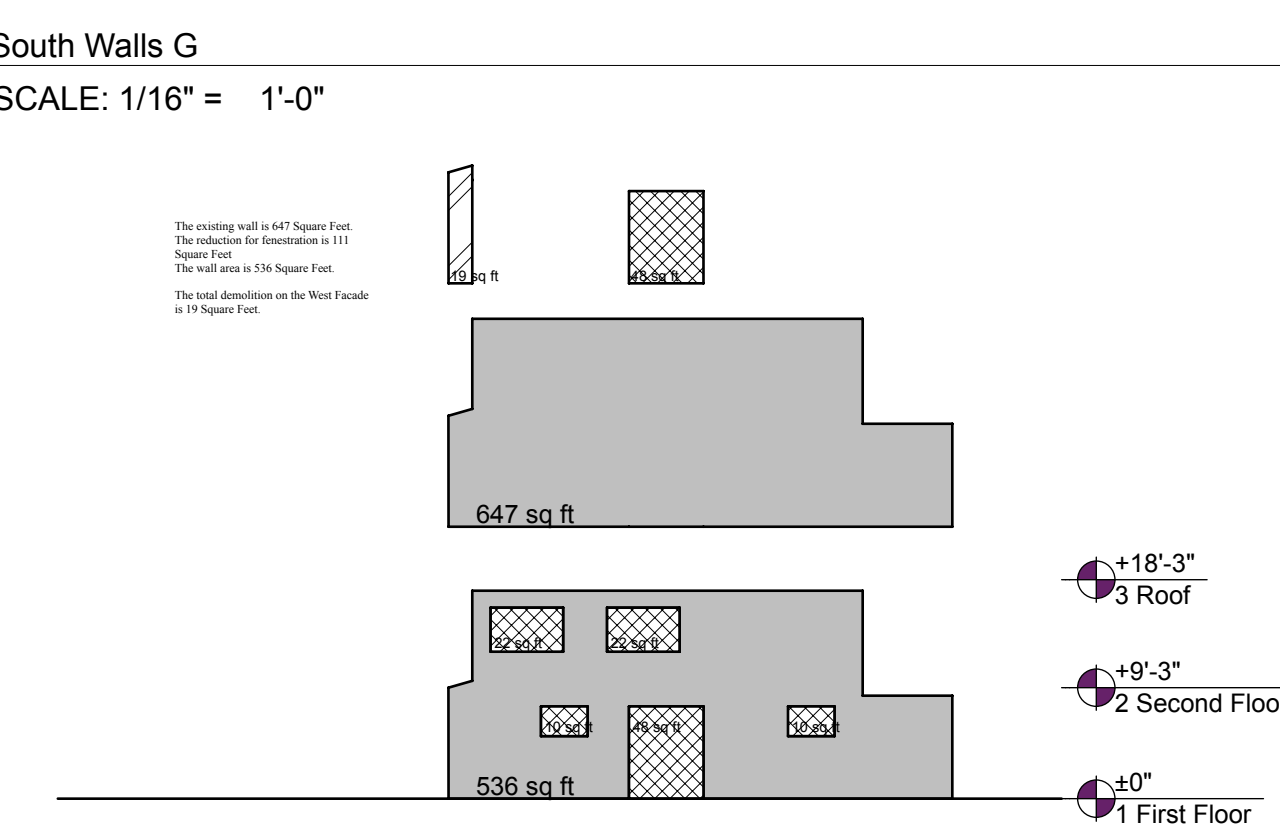
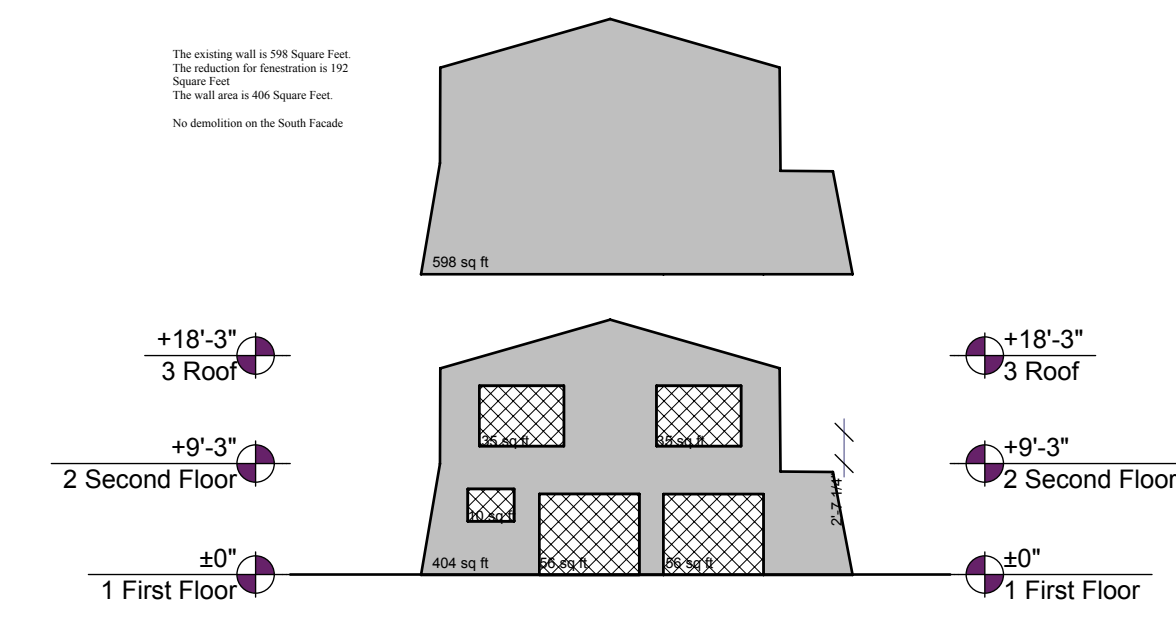
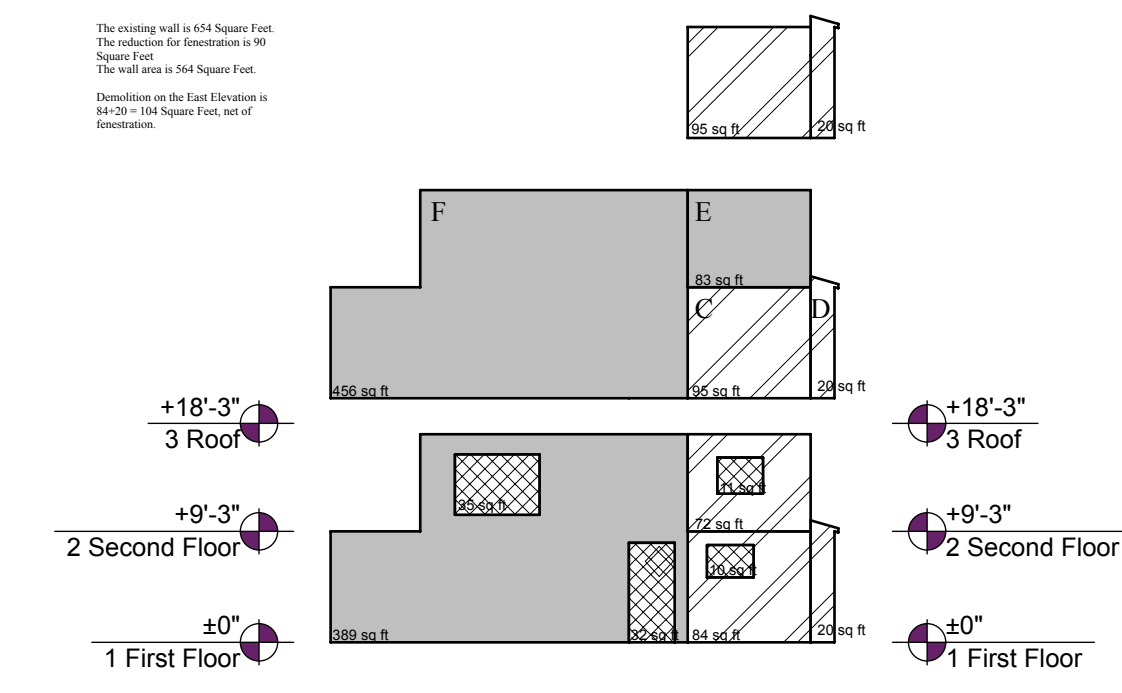
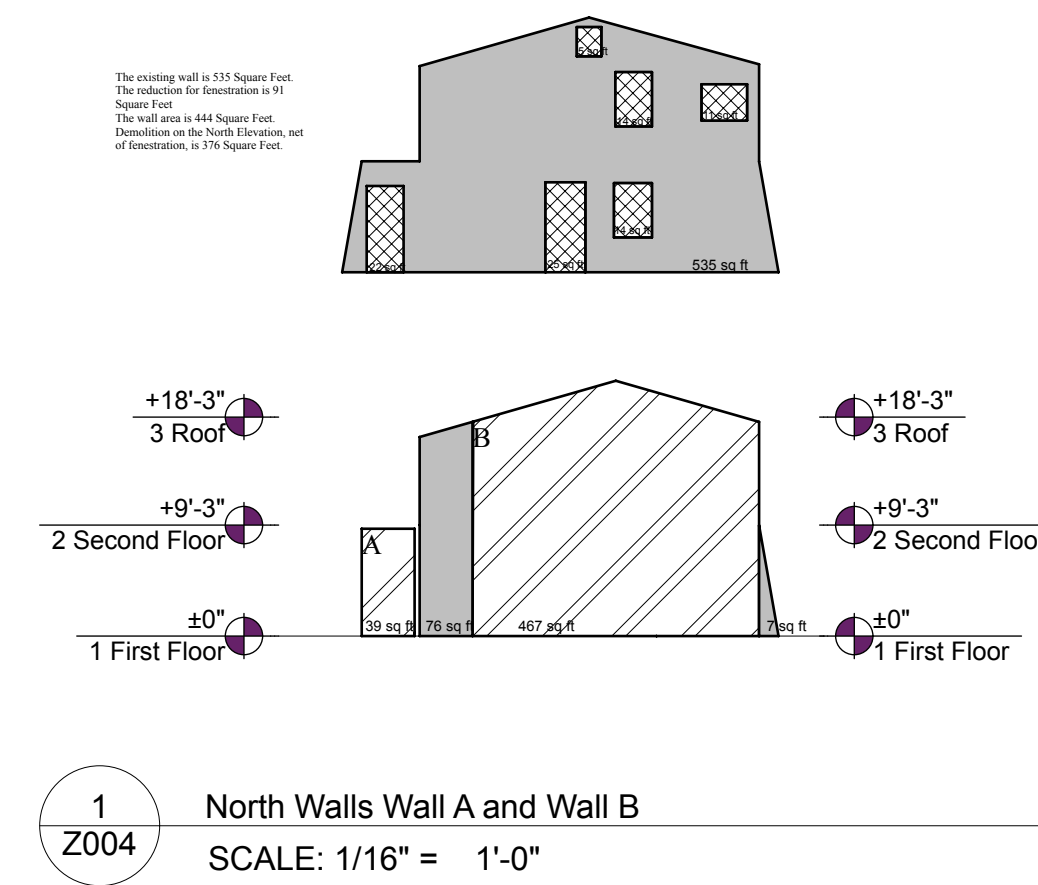
SHEET 29

Demolition Calculations

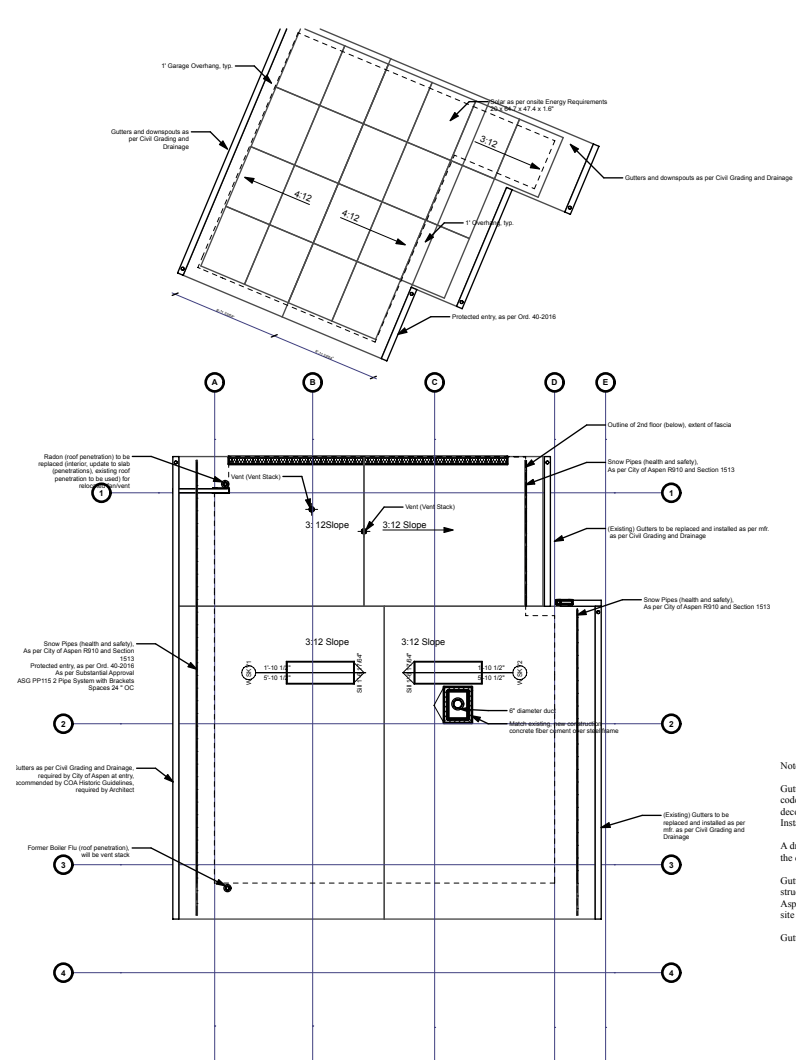
| City of Aspen 312 West Hyman Zoning Submission | | | |
|---|-------------------------------------|---|---|
| Wall Demolition | | | |
| Wall Label | Individual Wall Area (Sq Ft) | Area Reduced or Fenestration (Sq Ft) | Area of Wall to be Removed (Sq Ft) |
| A- North Wall | 535 | 69 | 390 |
| B- North Wall | 39 | 24 | 15 |
| C- East Wall | 95 | 10 | 85 |
| D- East Wall | 20 | 0 | 20 |
| E- East Wall | 72 | 11 | 61 |
| F- East Wall | 456 | 67 | 0 |
| G- South Wall | 598 | 194 | 0 |
| I- West Wall | 647 | 111 | 67 |
| Roof Demolition (Area of Roof for two Skylights) | 1295 | 0 | 22 |
| Wall Surface Area Total (Sq Ft) | 3757 | | |
| Area Reduced for Fenestration (Sq Ft) | | 486 | |
| Area Used for Demo Calculation | | | 660 |
| Demolition Totals | | | |
| Roof and Wall Area Used for Demo Calculation (Sq Ft) | | | 660 |
| Surface Area to be Removed (Sq Ft) | | | |
| Total | | | 660 |

Exposed Wall Legend

- Existing Wall to Remain
- Wall Area to be Removed
- Area Reduced for Fenestration



6
Z004
Floor Area Calculations Spring 2023
SCALE: 1' = 1'-0"



5
Z004
Roof- Plan Shows Demo of Roof for Skylights as per table
SCALE: 1/16" = 1'-0"

| Proposed Development | | | | | | |
|---|----------------------------------|-------------------------|---|-----------------------------------|--|---|
| Zoning Allowance and Project Summary | | | | | | |
| City of Aspen 312 W Hyman Zoning Submission | | | | | | |
| Proposed Development | Single Family / Remodel Addition | | | | | |
| Parcel # | 273512464006 | | | | | |
| Zone District | R6 | | | | | |
| Setbacks | Existing | Allowed (Principal) | Allowed (Accessory) | Proposed (Principal) | Proposed (Accessory) | LUC Reference |
| Front | 19'-7" | 25' | 25' | 19'-7" | n/a | 26.710.060 |
| Rear | 33'-6" | 10' | 5' | 33'-6" | 5' | 26.710.060 |
| Combined Front/Rear | | | | | | 26.710.060 |
| East Side | 2'-4" | 5' | 5' | 2'-4" | 5' | 26.710.060 |
| West Side | 11 2/3' | 10' | 10' | 11 2/3' | 5' | 26.710.040 Medium-Density Residential (R-6) |
| Combined Side | 15' | 15' | 15' | 5'-4" No change to West Principal | 3'-0" Garage/ Combined Variance Approved for site at Substantial | Combined Side Set Back Approved by HPC at Substantial |
| Distance between Buildings | N/A | N/A | 10' 3" between the garage and the principal | N/A | 10' 3" between the garage and the principal, 5' between garage and concrete retaining wall | 26.710.060 |
| Corner Lot | N/A | N/A | n/a | N/A | N/A | 26.710.060 |
| Floor Area (Square Feet) | 1,669 | 3,240 | | 2,163 | | |
| Supplemental Breakdown Info | | | | | | |
| Net Leasable/Comm (Sq Ft) | Existing | Required | Proposed | LUC Reference | | |
| | | Not Req for Residential | N/A | 26.575.020.L | | |
| Open Space % | 80.79% | Not Req for R-6 | 73.90% | 26.710.060 | | |
| Site Coverage | 19.21% | Not Req for R-6 | 26.10% | 26.710.060 | | |
| On-Site Parking | 2 | | 2 | 26.515.030 | | |
| Site Coverage | | | | | | |
| Gross Lot Area (Sq Ft) | Existing | Required | Proposed | LUC Reference | | |
| | 6,000 | | 6,000 | 2-007, Lot # R6-6 | | |
| Area of Building Footprint (Sq Ft) | 1,148 | 1091+4+1+16 | 1,586 | 1227-330-31 | | |
| Site Coverage | 19.13% | | 26.47% | 26.575.020.G | | |
| Land Value Summary | | | | | | |
| Actual Value | | | | | | |
| Land | \$3,200,000 | | | | | |
| Improvements | \$718,000 | | | | | |
| Total | \$3,918,000 | | | | | |

Site is 5976 sq ft as per survey. Site Coverage is not triggered as per LUC.

Maximum site coverage: No Limitation

Site notes from LUC:

Sheds, Storage Areas, and similar Accessory Structures. Sheds, storage areas, greenhouses, and similar uninhabitable accessory structures, not within a garage, are exempt from floor area limitations up to a maximum exemption of thirty-two (32) square feet per residence. Storage areas within a garage shall be treated as garage space eligible for the garage exemption only. Accessory structures thirty-six (36) inches or less in height, as measured from finished grade, shall be exempt from Floor Area calculations (also see setback limitations). Accessory structures that are both larger than thirty-two (32) square feet per primary residence and more than thirty-six (36) inches in height shall be included in their entirety in the calculation of Floor Area. Properties which do not contain residential units are not eligible for this Floor Area exemption.

If the property adjoins an alleyway, the trash and recycle service area shall be along and accessed from the alleyway

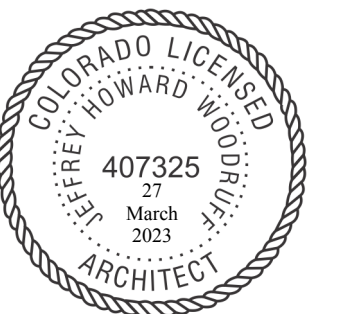
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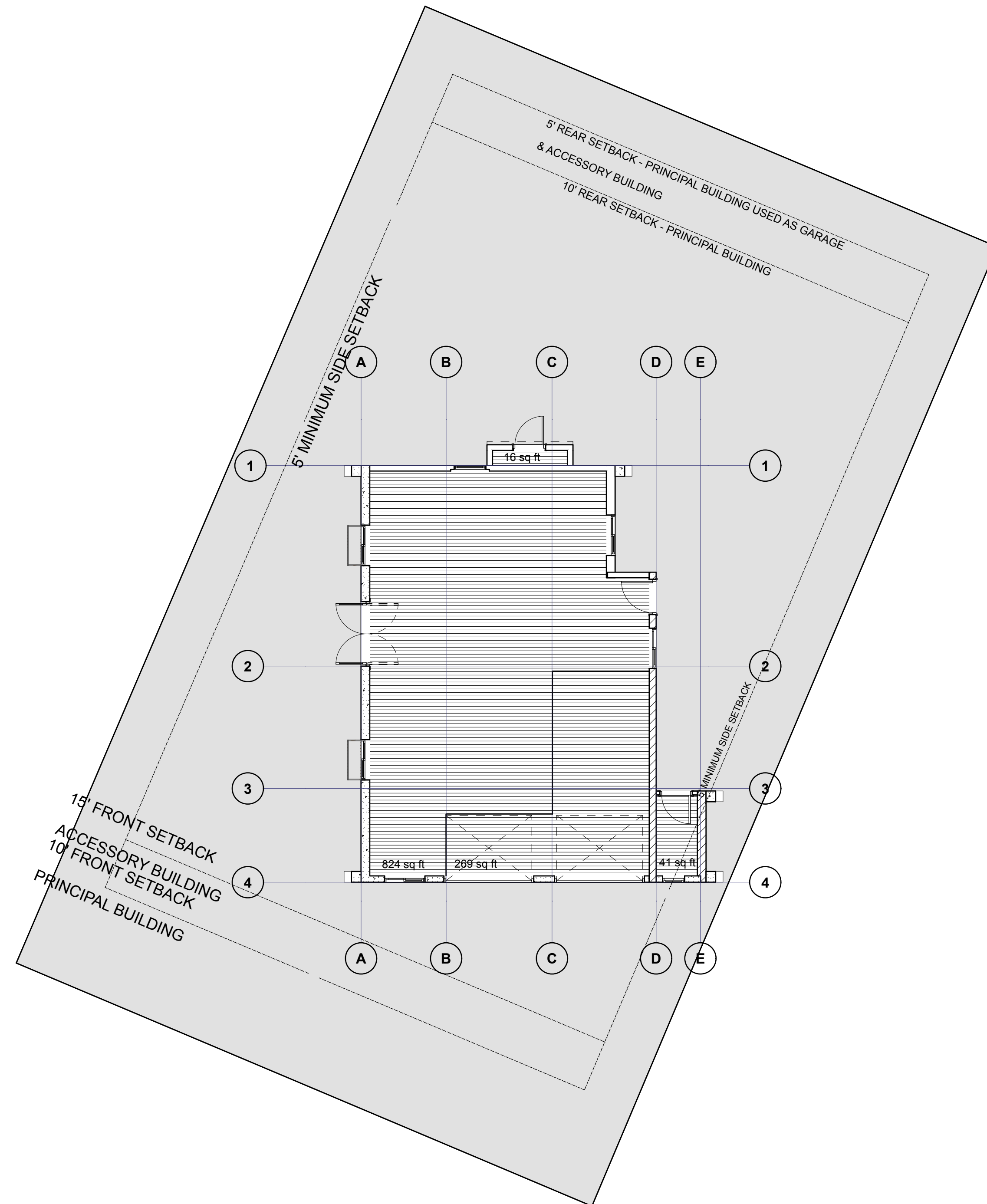
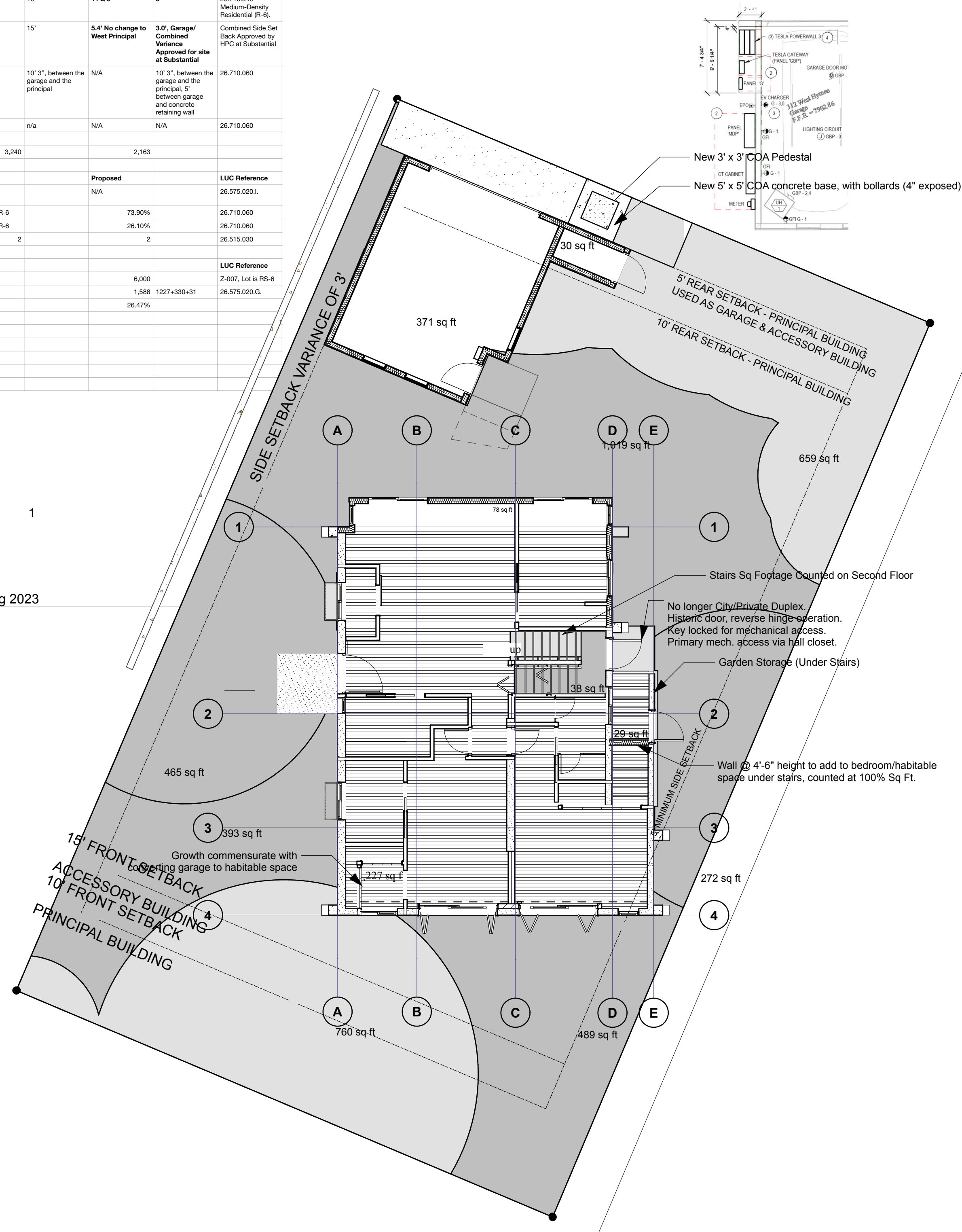
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Site Coverage

Z005

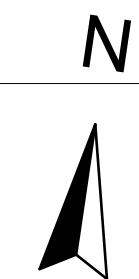
SHEET 30



3 Z005 Floor Area Calculations Spring 2023
SCALE: 1" = 1'-0"

1 Z005 Proposed Site Coverage
SCALE: 1/8" = 1'-0"

2 Z005 Existing Site Coverage
SCALE: 1/8" = 1'-0"



Proposed Development

| Zoning Allowance and Project Summary | | | | | | |
|---|----------------------------------|-------------------------|--|----------------------------------|---|---|
| City of Aspen 312 W Hyman Zoning Submission | | | | | | |
| Proposed Development | Single Family Remodel Addition | | | | | |
| Parcel # | 273512464006 | | | | | |
| Zone District | R6 | | | | | |
| | Existing | Allowed (Principal) | Allowed (Accessory) | Proposed (Principal) | Proposed Accessory | LUC Reference |
| Setbacks | | | | | | 26.710.060 |
| Front | 19'-7" | 25' | 25' | 19'-7" | n/a | 26.710.060 |
| Rear | 33'-6" | 10' | 5' | 33'-6" | 5' | 26.710.060 |
| Combined Front/Rear | | | | | | 26.710.060 |
| East Side | 2'-4" | 5' | 5' | 2'-4" | 5' | 26.710.060 |
| West Side | 11 2/3' | 10' | 10' | 11 2/3' | 3' | 26.710.040 Medium-Density Residential (R-6). |
| Combined Side | 15' | 15' | 15' | 5.4' No change to West Principal | 3.0', Garage/ Combined Variance Approved for site at Substantial | Combined Side Set Back Approved by HPC at Substantial |
| Distance between Buildings | N/A | N/A | 10' 3", between the garage and the principal | N/A | 10' 3", between the garage and the principal, 5' between garage and concrete retaining wall | 26.710.060 |
| Corner Lot | N/A | N/A | n/a | N/A | N/A | 26.710.060 |
| Floor Area (Square Feet) | 1,669 | 3,240 | | 2,179 | | |
| Supplemental Breakdown Info | Existing | Required | | Proposed | | LUC Reference |
| Net Leasable/Comm (Sq Ft) | | Not Req for Residential | | N/A | | 26.575.020.1. |
| Open Space % | 80.79% | Not Req for R-6 | | 73.90% | | 26.710.060 |
| Site Coverage | 19.21% | Not Req for R-6 | | 26.10% | | 26.710.060 |
| On-Site Parking | 2 | 2 | | 2 | | 26.515.030 |
| Site Coverage | Existing | | | | | LUC Reference |
| Gross Lot Area (Sq Ft) | 6,000 | | | 6,000 | | Z-007, Lot is RS-6 |
| Area of Building Footprint (Sq Ft) | 1148 | 1091+41+16 | | 1,588 | 1227+330+31 | 26.575.020.G. |
| Site Coverage | 19.13% | | | 26.47% | | |
| Land Value Summary | Actual Value | | | | | |
| Land | \$3,200,000 | | | | | |
| Improvements | \$718,000 | | | | | |
| Total | \$3,918,000 | | | | | |

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Zoning Summary

Z006

SHEET 31

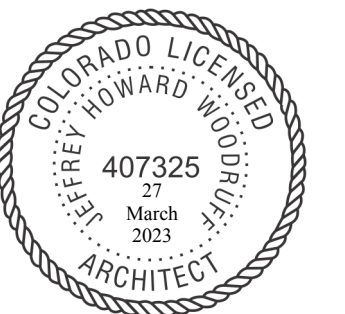
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Forestry Site Coverage

Z008

SHEET 32

**Site Total RS-6
6000 SF**

Tree Protection Zone/Pervious Space

North/East Trees 680.25 SF
South State Tree 760.25 SF
Tree Site Coverage 1,440.50 SF
Tree Site % 24.01%

Impervious Site Coverage

Chalet 1210.75 SF
Garage 330.00 SF
Enclosure 32.25 SF
Build out site 1573.00
Build out site % 26.21%

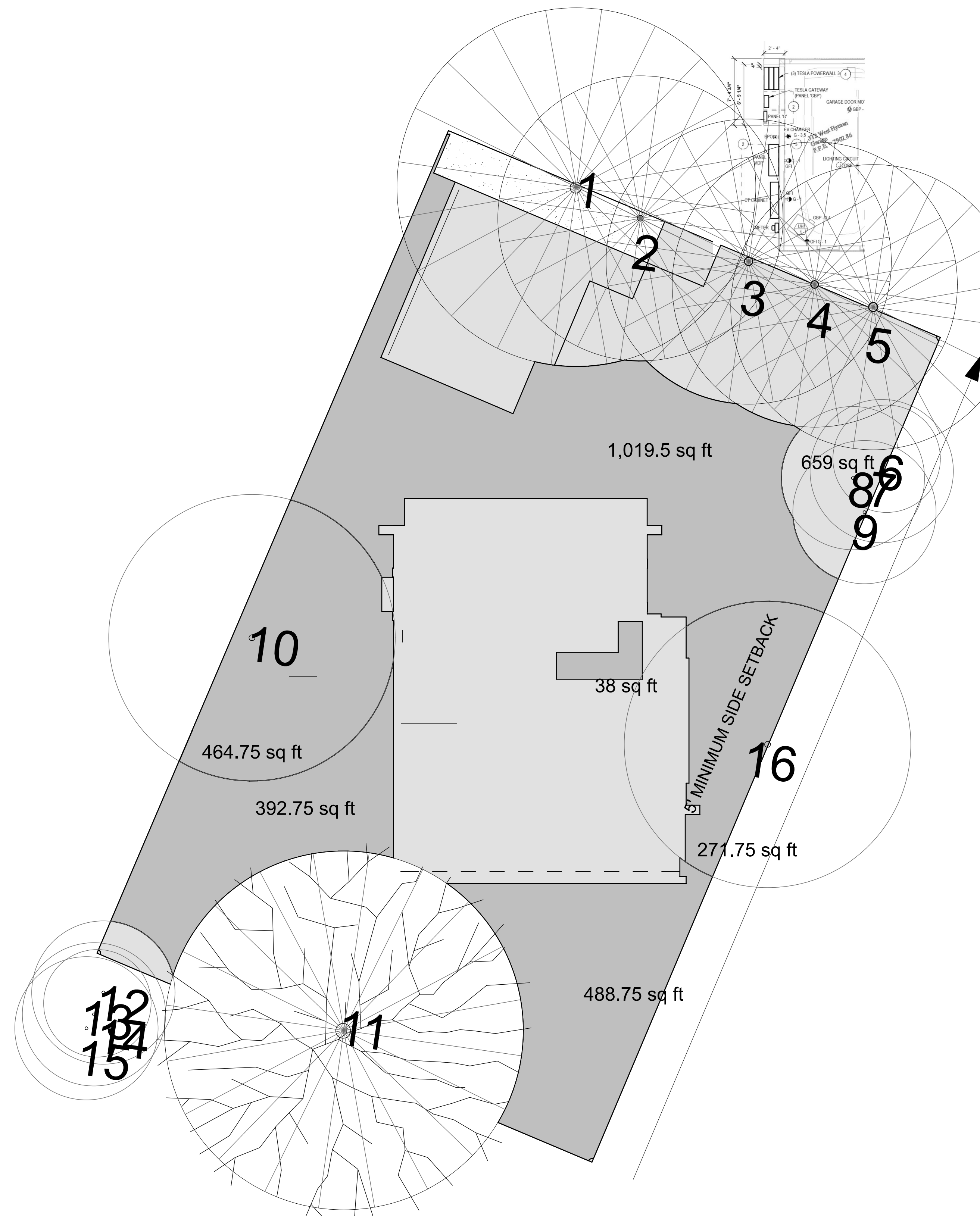
Pervious Open Space

North 1020.75 SF
South East 488.75 SF
South West 392.75 SF
West Tree 464.75 SF *
East Tree 271.75 SF *
Open Space 2638.75
Open Space% 43.98%

Pavers/skirt

~5.80%

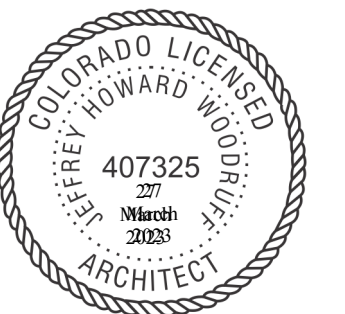
* East and West Deciduous trees counted toward open space



North West Garage/Trash Enclosure
° Aligned with existing site disturbance, the railroad tie retaining wall
° Leaves the largest open space in the backyard
° No/little impact to trees #3, #4 and #5 and no impact to Aspens along East property line
° Does not interfere with existing utilities (maybe gas, but not electric)
° Benefits to house across alley (north), views to Shadow Mountain
° Minor negative to St Moritz, but ridge line is 12'-6" and grade steps down 3' grade (from the property line to the NE corner of the garage) and 6' retaining wall, so impact is negligible to St Moritz
° Distance between the Garage and the Residence is 11', goes to 12' with the 2.5' side setback
° Keep all trees, gravel between the alley and the garage
° Distance between the property line and Tree #1 is 15'-7", if the neighboring retaining wall is plum and does not encroach on the West property line.

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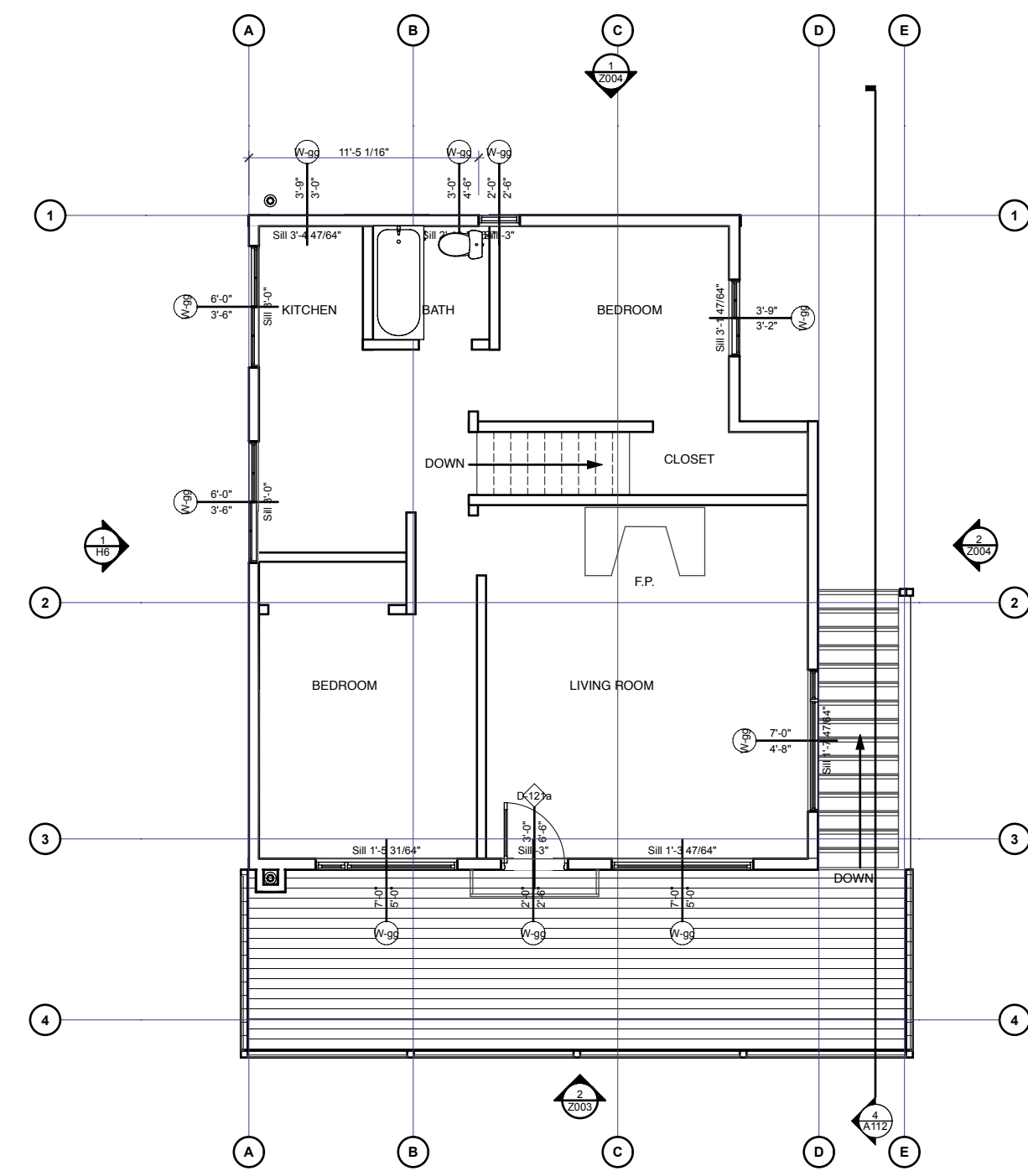
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Existing, HPC Approved,
HPO Approved

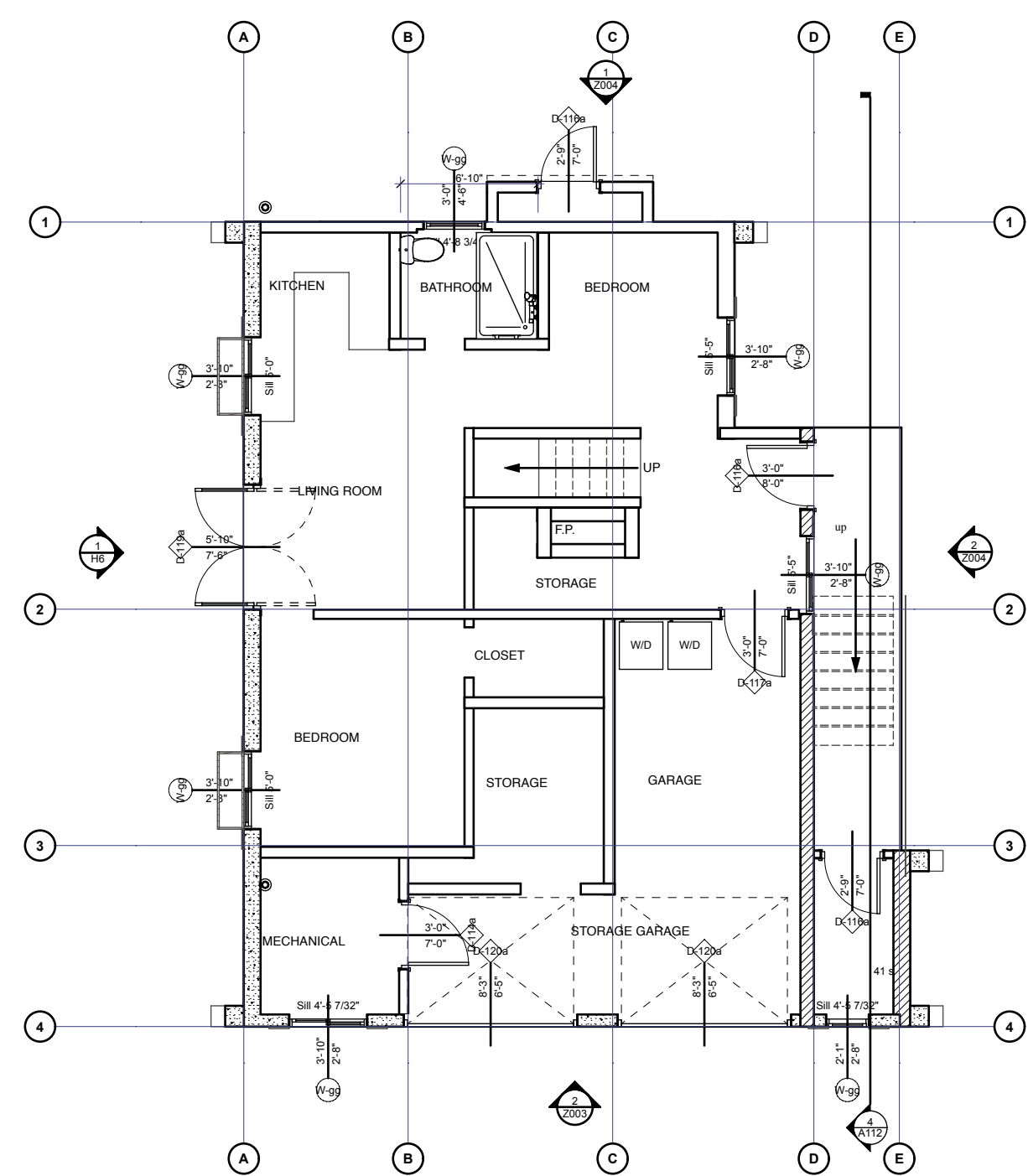
H1

SHEET 33

EXISTING

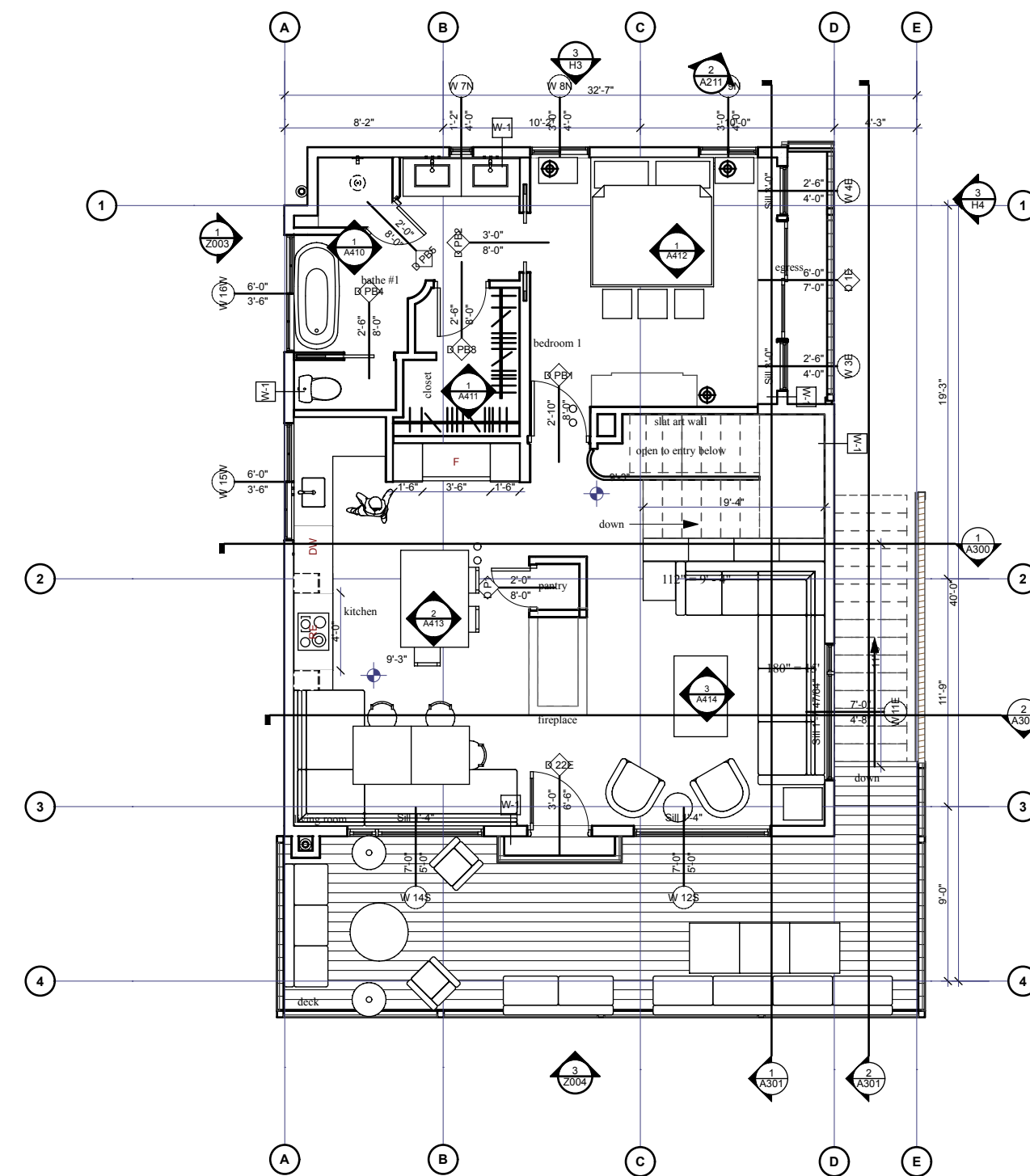


4
H1 2. Second Floor
SCALE: 1/8" = 1'-0"

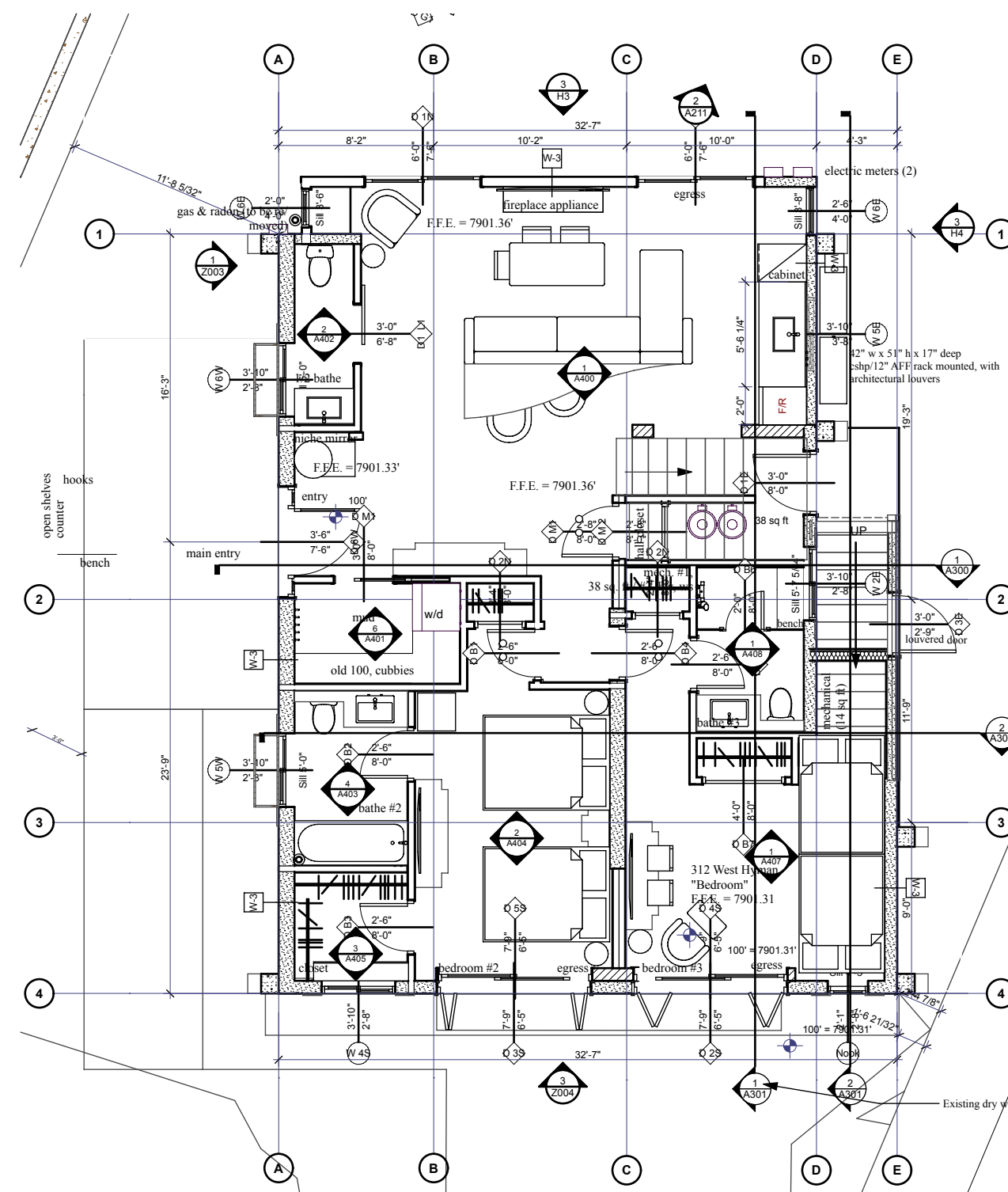


3
H1 1. First Floor
SCALE: 1/8" = 1'-0"

APPROVED HPC RESO #5 2023



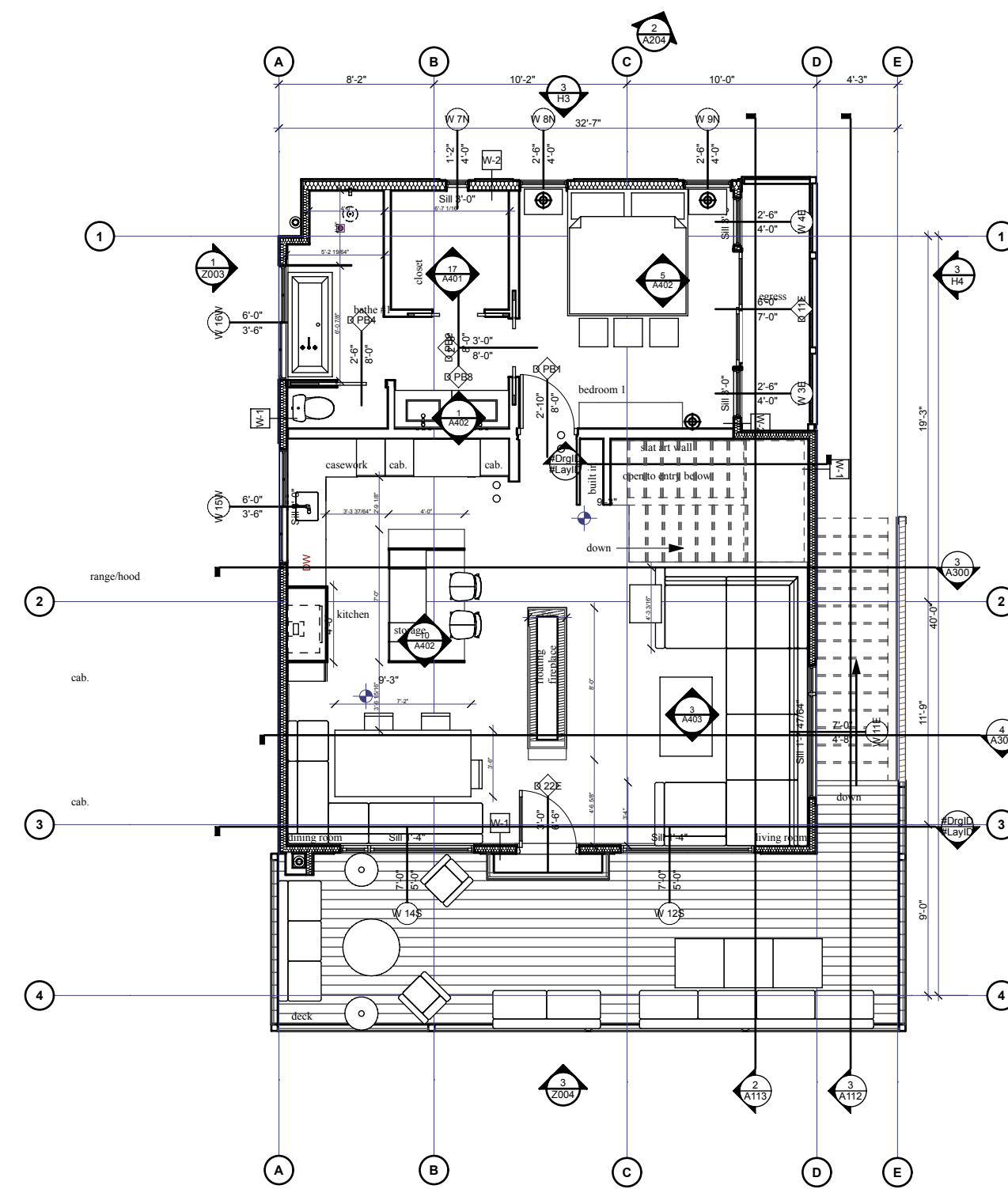
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H1 Amendment
SCALE: 1/8" = 1'-0"



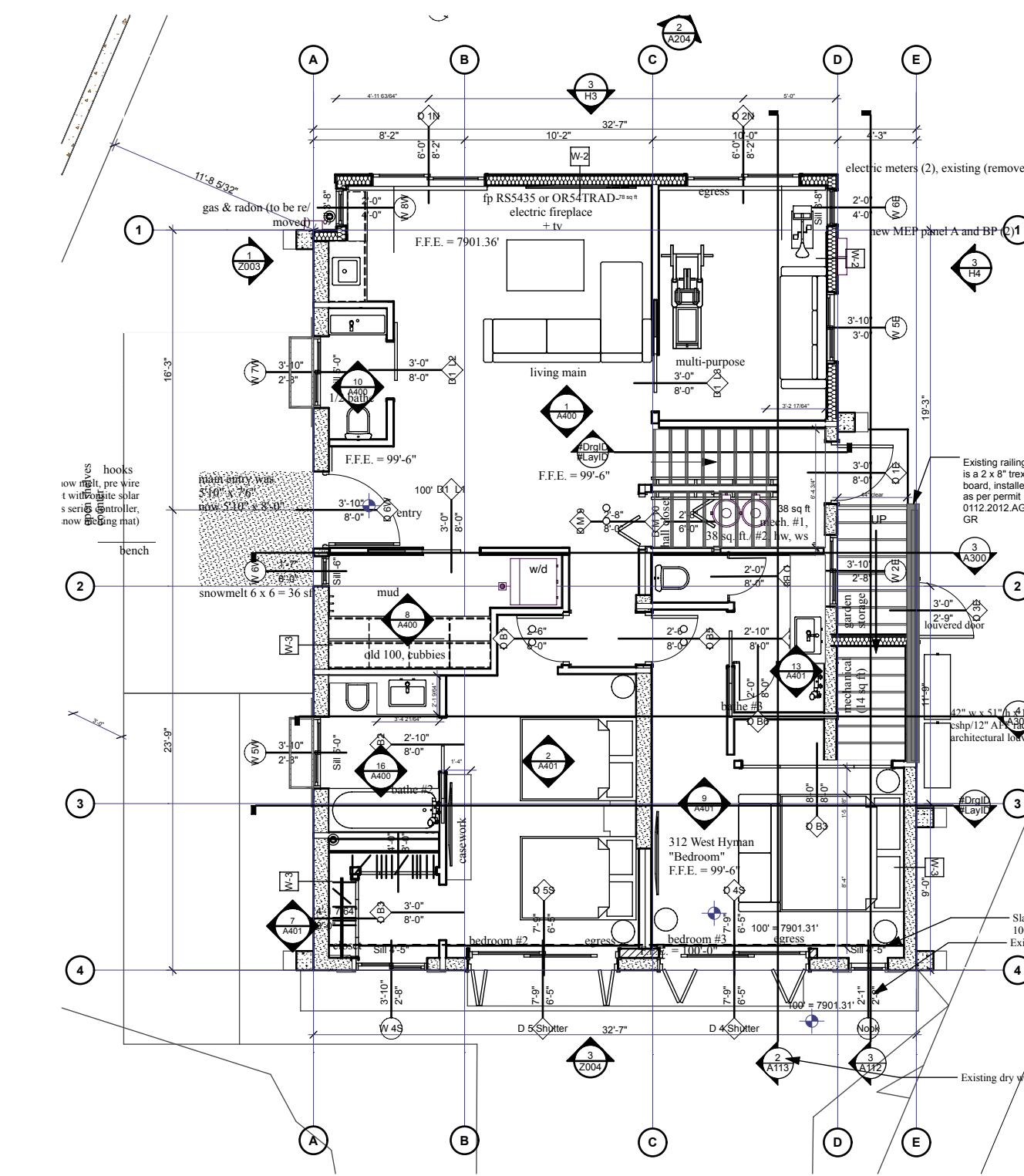
1
H1 Amendment
SCALE: 1/8" = 1'-0"

5
H1 Approved

APPROVED BY HPO/S&M 10.18.23



2
H1 2. Second Floor
SCALE: 1/8" = 1'-0"



1
H1 First Floor
SCALE: 1/8" = 1'-0"

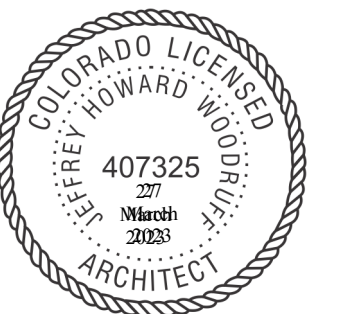
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EXISTING

APPROVED HPC RESO #5 2023

**APPROVED BY
HPO/S&M 10.18.23**

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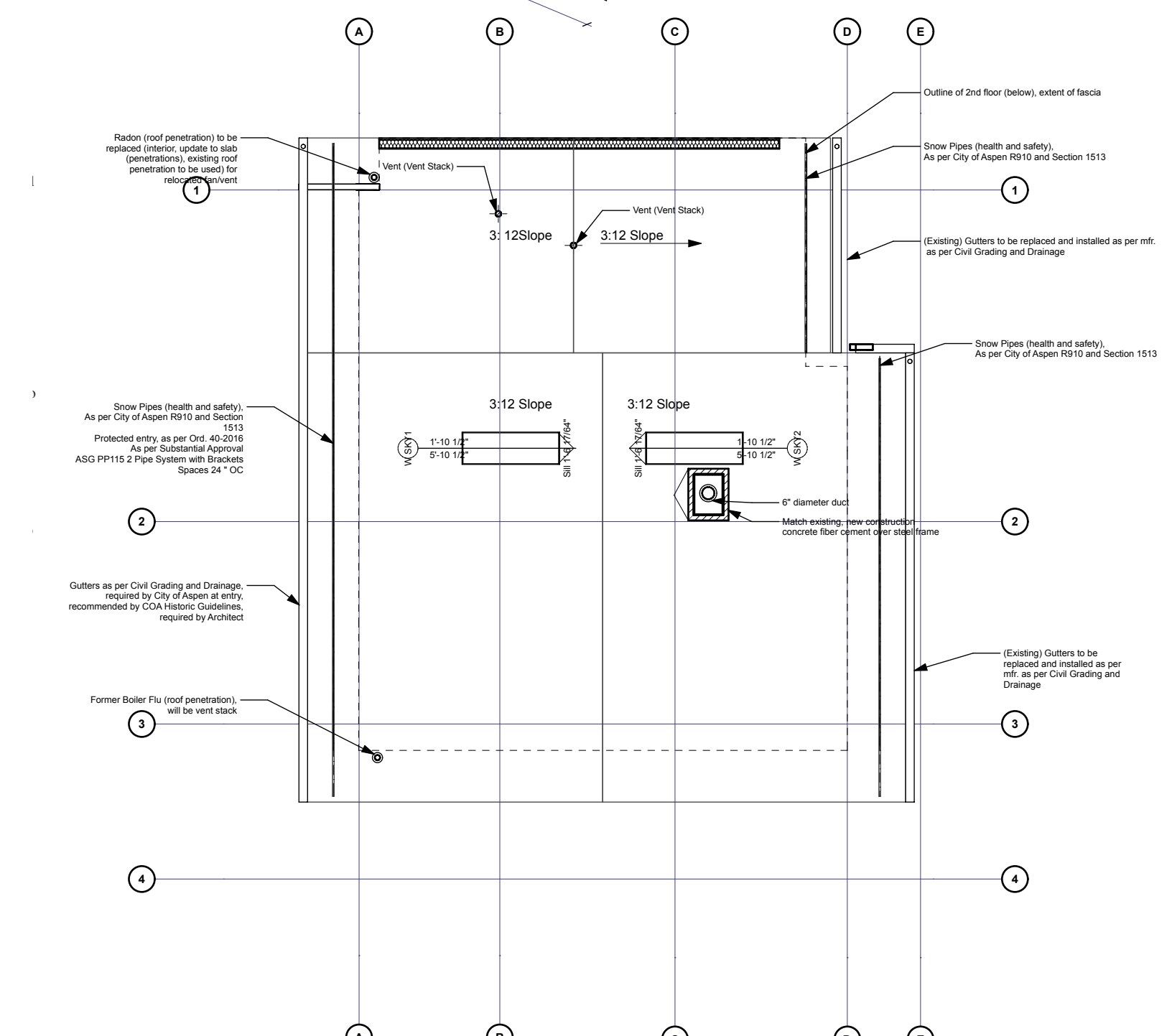
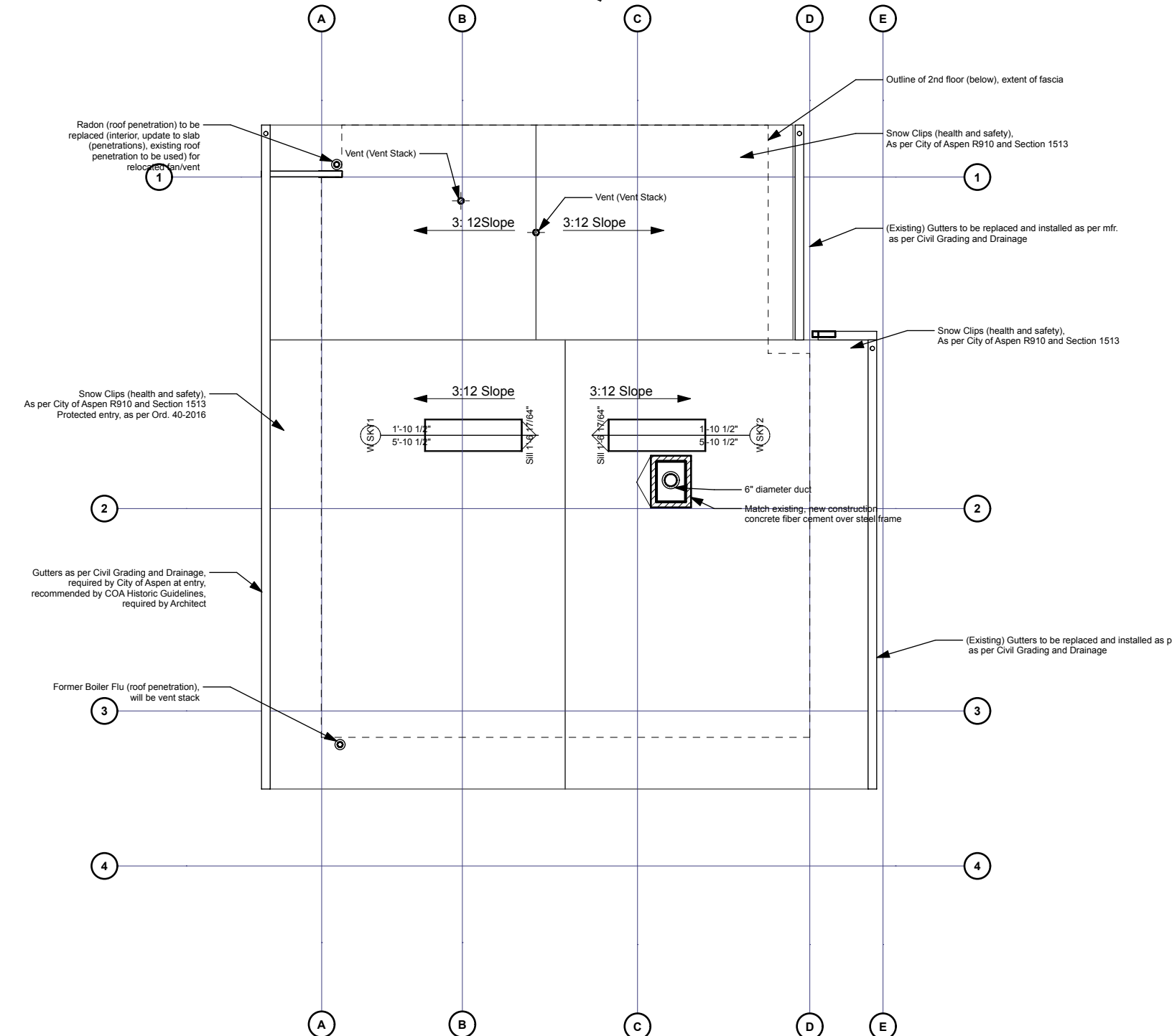
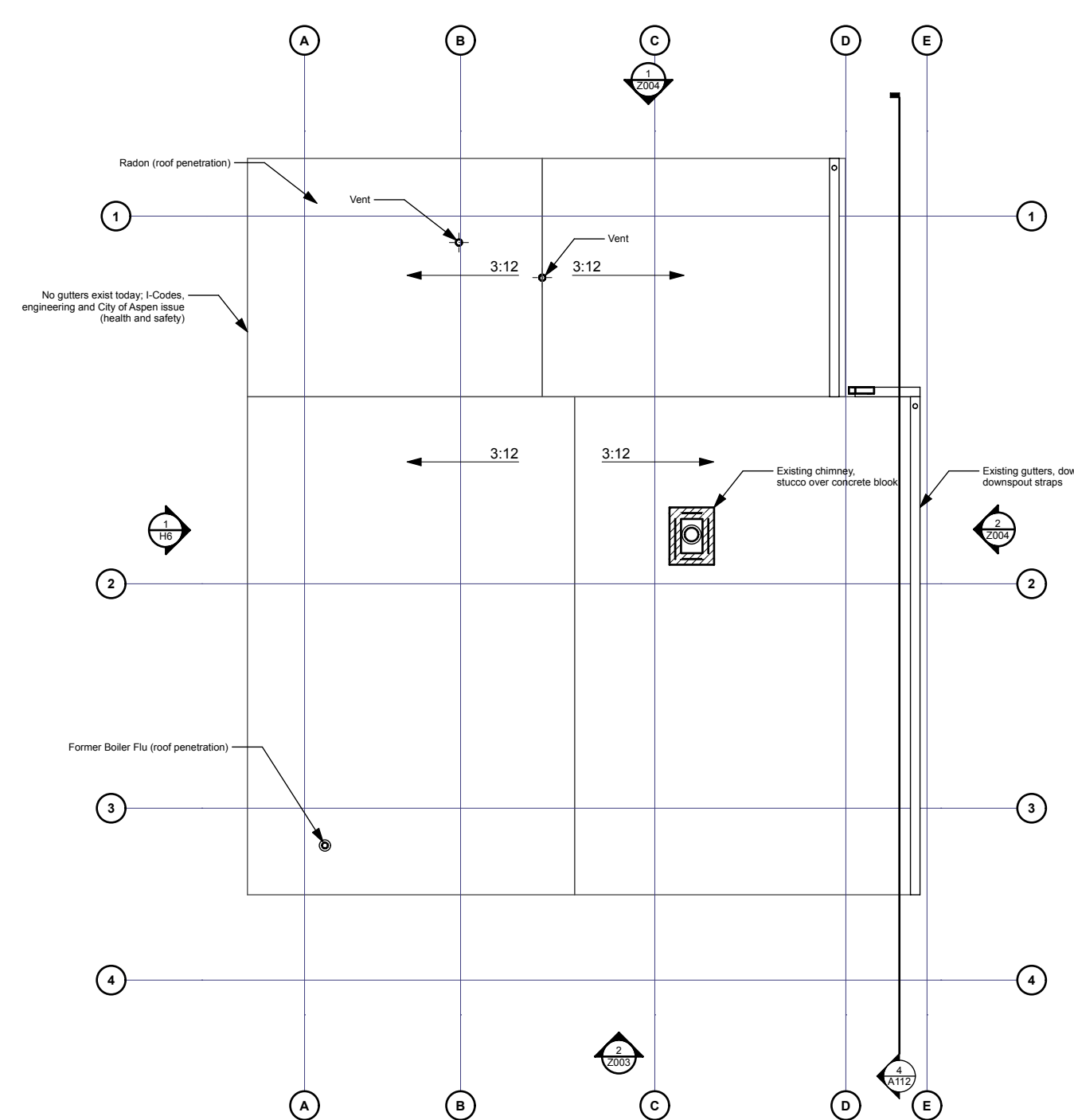
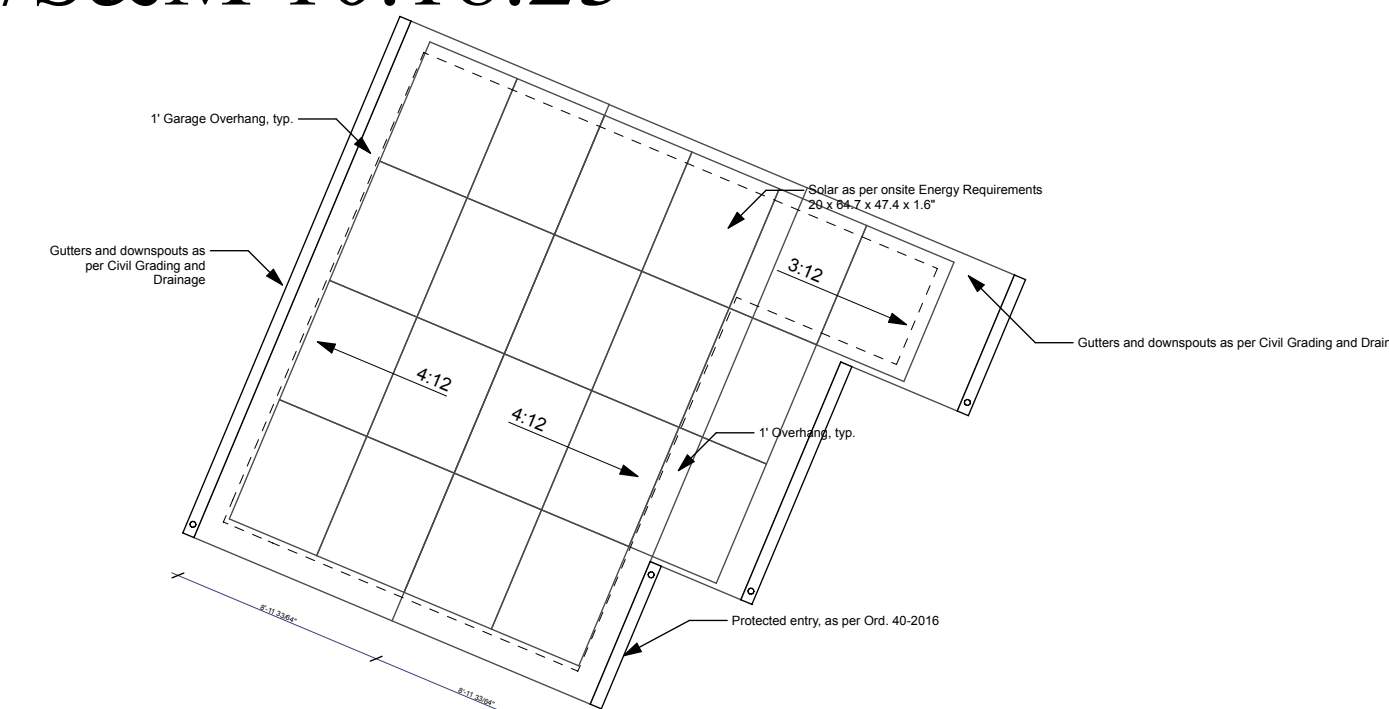
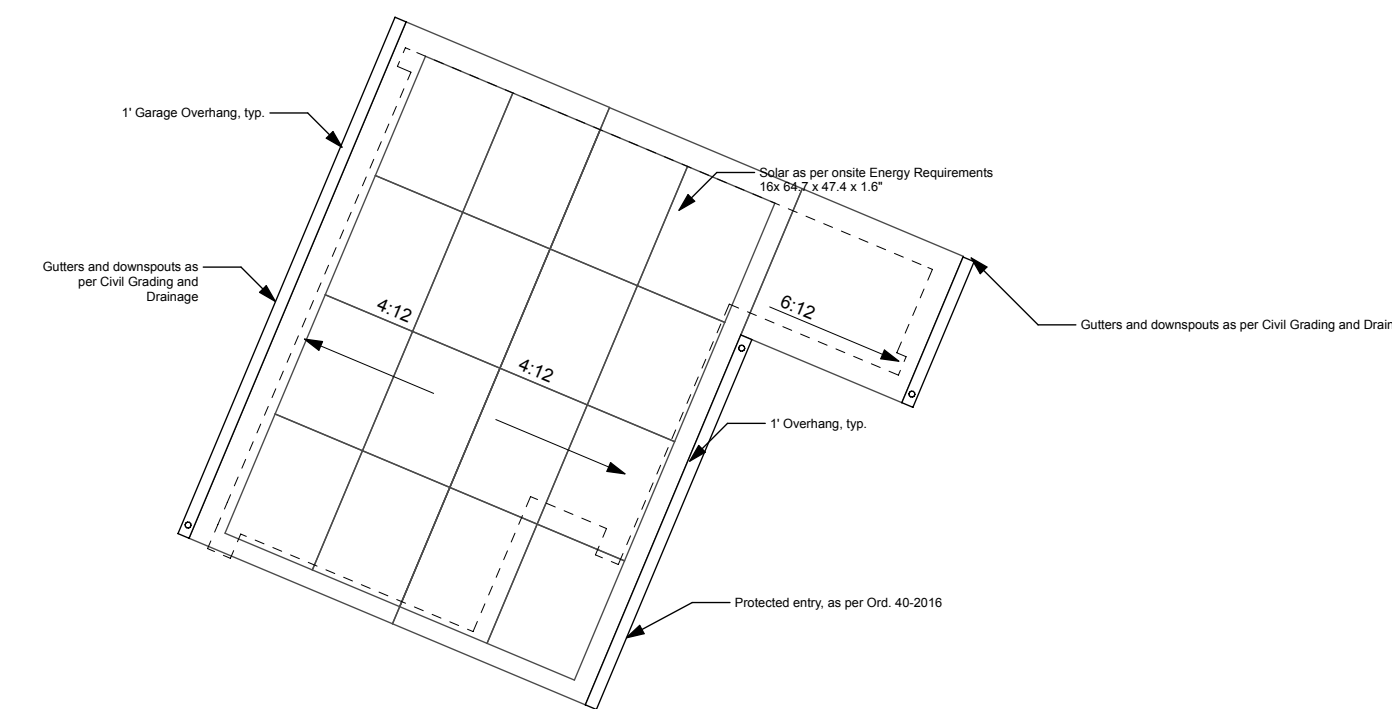
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SHEET TITLE

Existing, HPC Approved,
HPO Approved

H2



2 H2
Roof Existing
SCALE: 1/8" = 1'-0"

3 H2
Approved

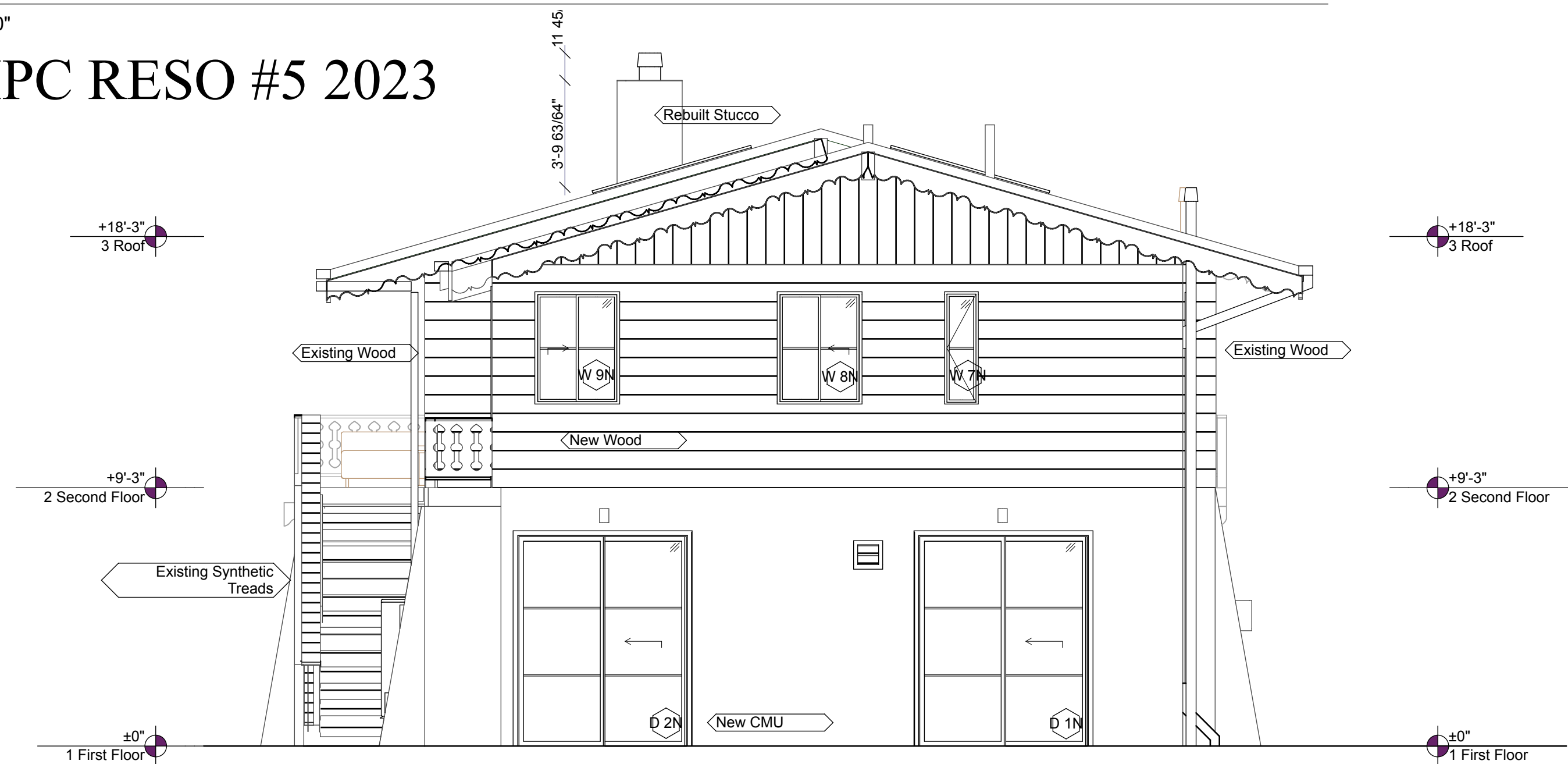
1 H2
HPO Approved
SCALE: 1/8" = 1'-0"

EXISTING



1 H3 Existing North Elevation
SCALE: 1/4" = 1'-0"

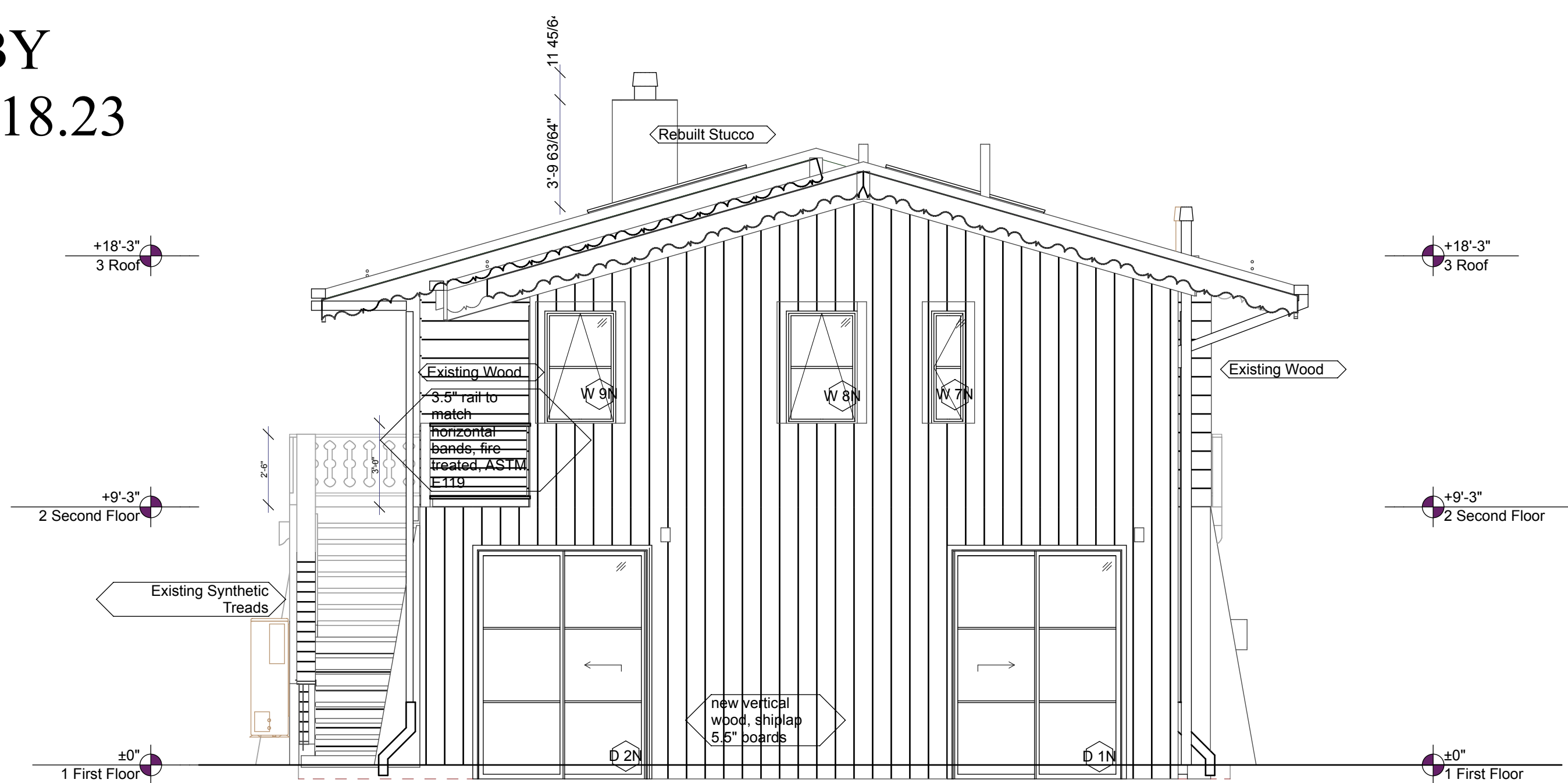
APPROVED HPC RESO #5 2023



3 H3 Amendment
SCALE: 1/4" = 1'-0"

3 H3 Approvec

APPROVED BY
HPO/S&M 10.18.23



3 H3 HPO Proposed
SCALE: 1/4" = 1'-0"

From HPO/S&M
In the building permit, please provide more detail on the vertical siding for the addition, clarifying whether it will be T&G or butt jointed vertical boards. Please clarify the width of the vertical boards, which should be similar to the exposure of the clapboards on the historic resource.

From Architect/Contractor
The vertical will be either ship lap or t&g, the width will be field verified and match the existing historical clapboard siding (exposed width of new siding to match historical)

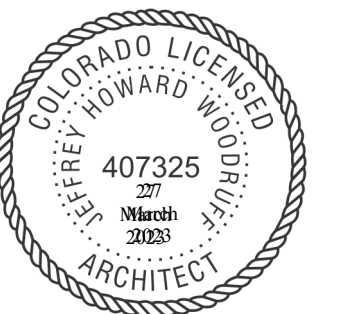
INTEGRATED DESIGN TEAM

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Jay Engstrom, P.E.
Crystal River Civil, LLC

Landscape Architect
Jennifer M. Dolecki-Smith, RLA
Escape Garden Design, LLC

Structural Engineer
Brian Fossiter, P.E.
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Contractor
Adam Rothberg
Rothberg Development



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Pitkin County UGB, City of Aspen
312 W Hyman Ave Aspen CO
81611 USA

Powder Day Skiing, LLC, David A
Tarrab Mees

Account # R000145
Parcel ID # 273512464006

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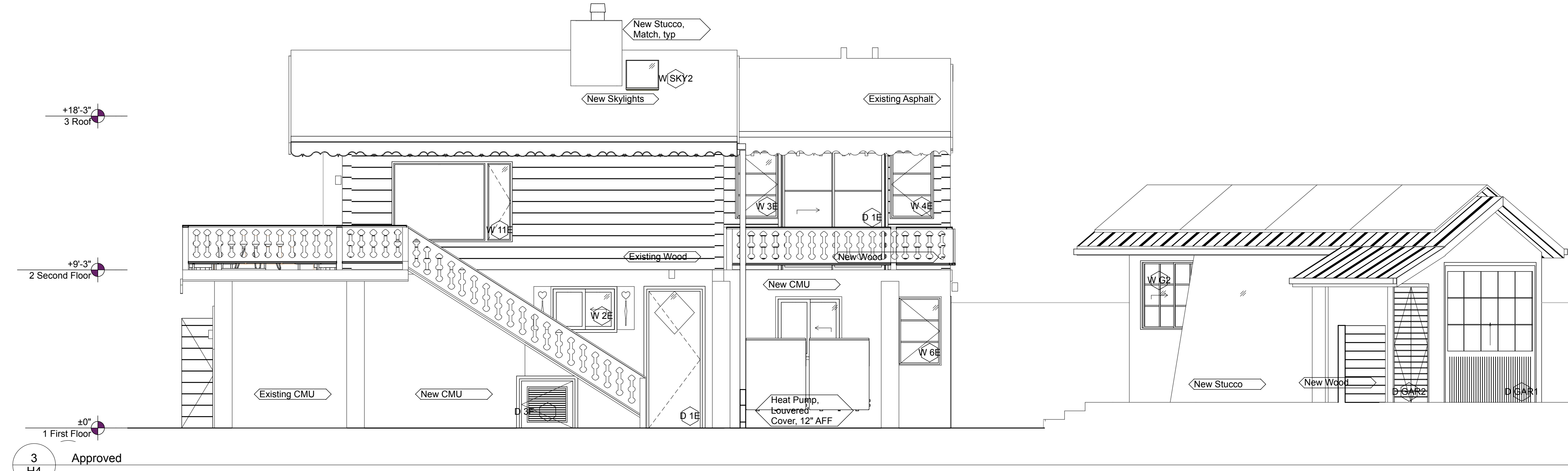
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EXISTING



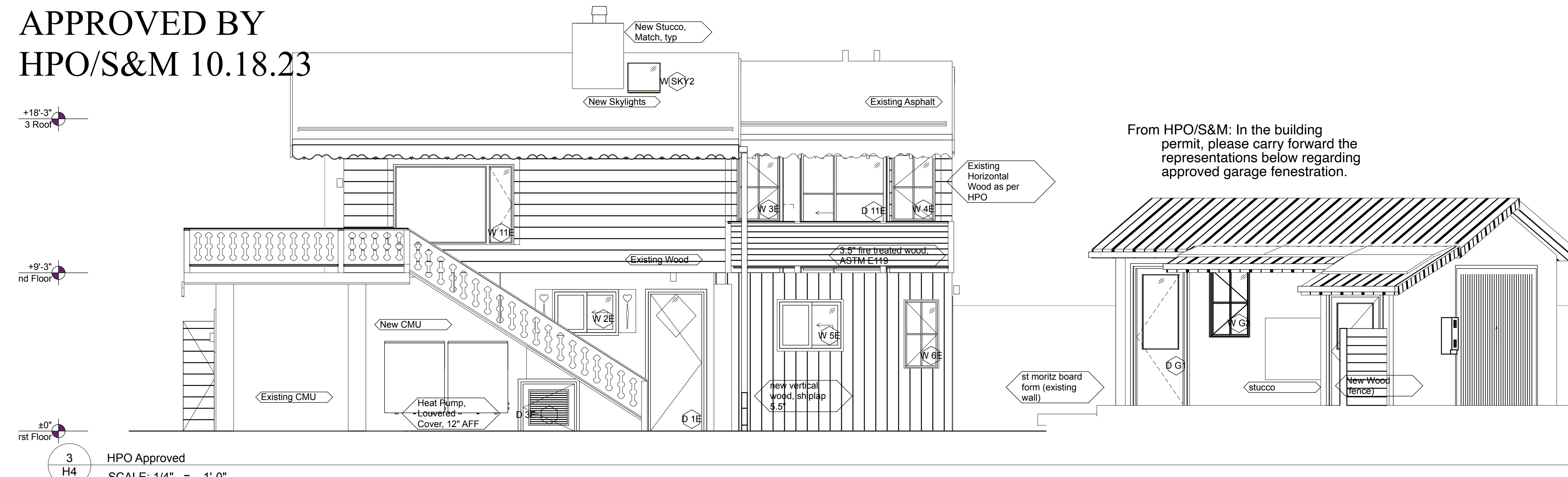
1 Existing East Elevation
H4 SCALE: 1/4" = 1'-0"

APPROVED HPC RESO #5 2023



3 Approved
H4

APPROVED BY
HPO/S&M 10.18.23



3 HPO Approved
H4 SCALE: 1/4" = 1'-0"

In the building permit, please clearly detail how historic materials will be retained on the upper level of the northeast facade, while accommodating the doors and windows being added at the new bedroom deck.

Contractor to remove and retain, historical wood from north, east and west facades. architect and contractor to select best historic wood for northeast facade, over new building wrap, after new fenestration installed, etc.

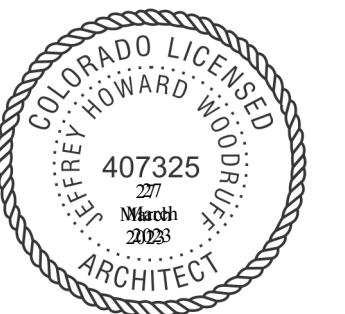
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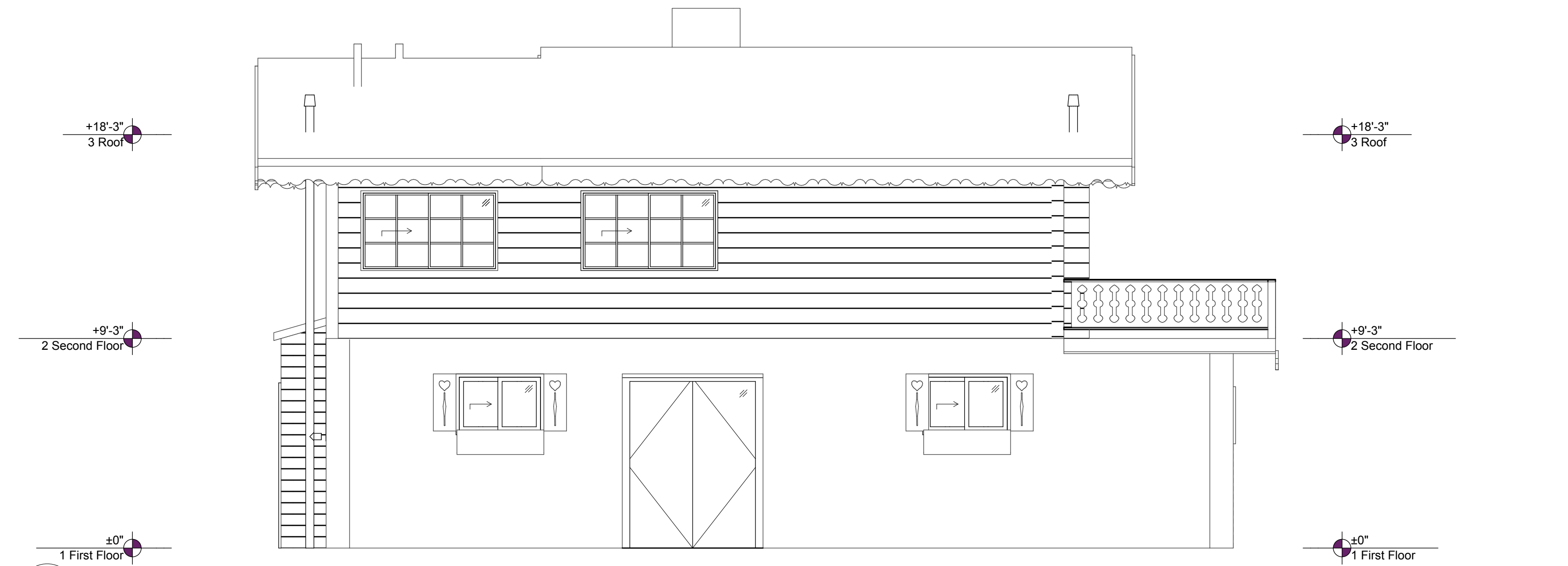
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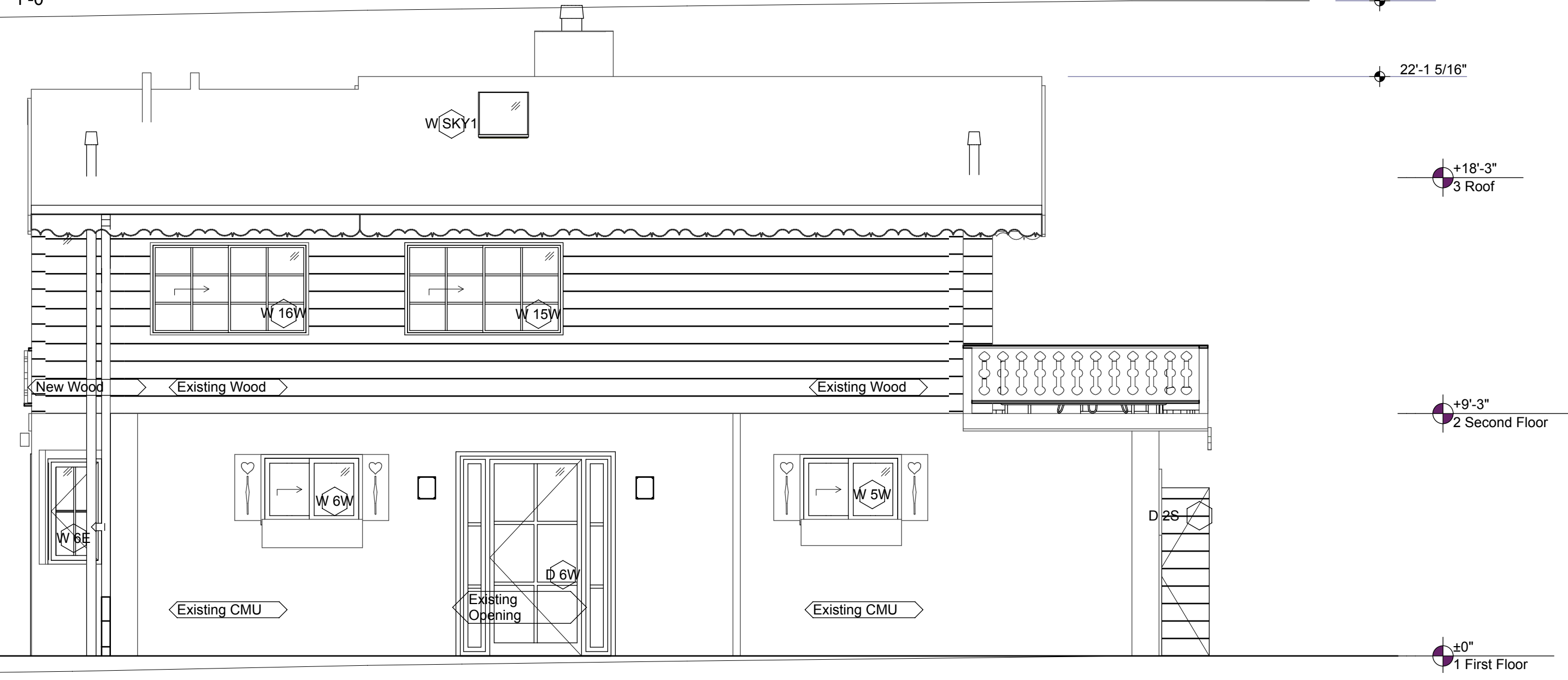
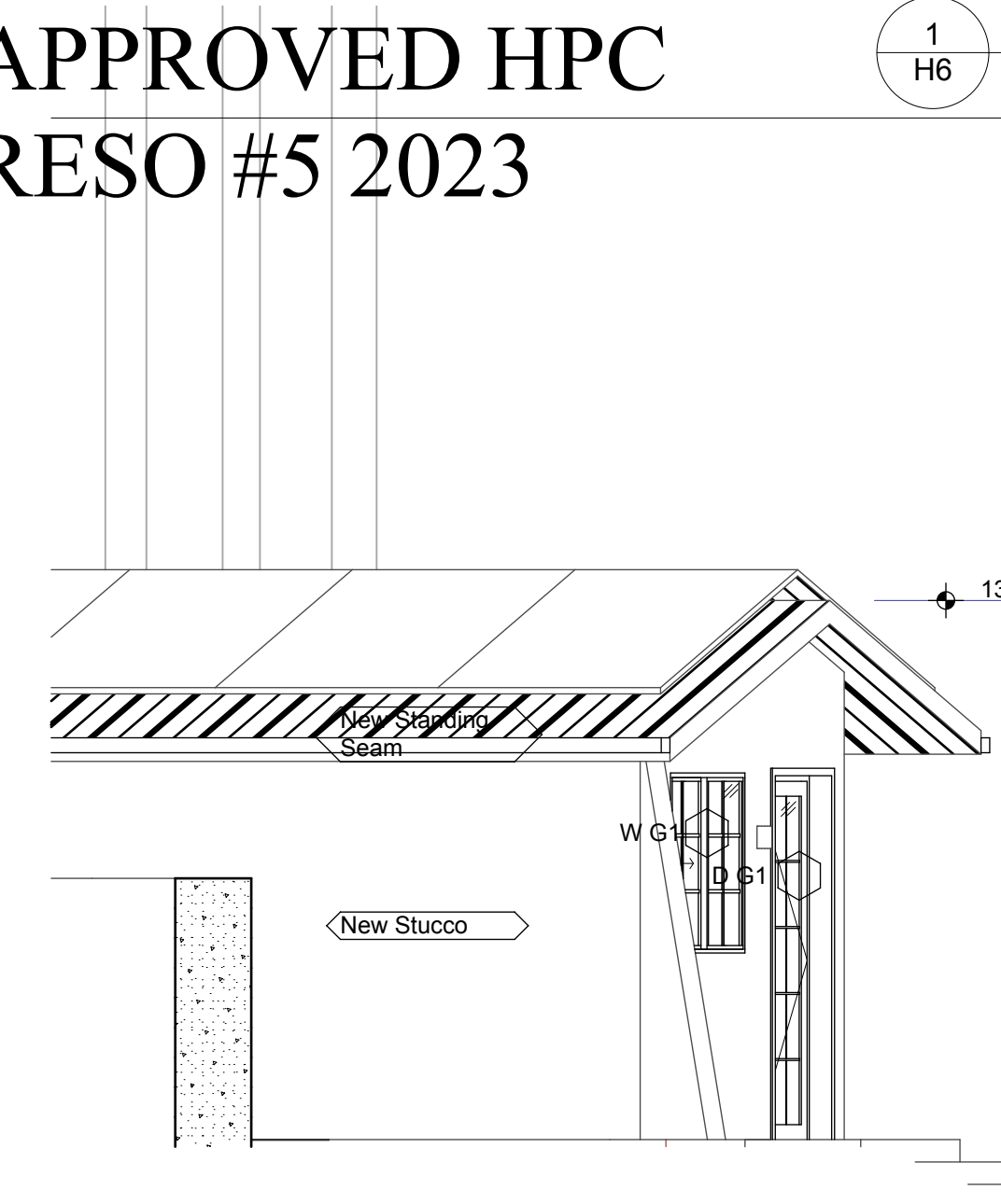
H4

EXISTING



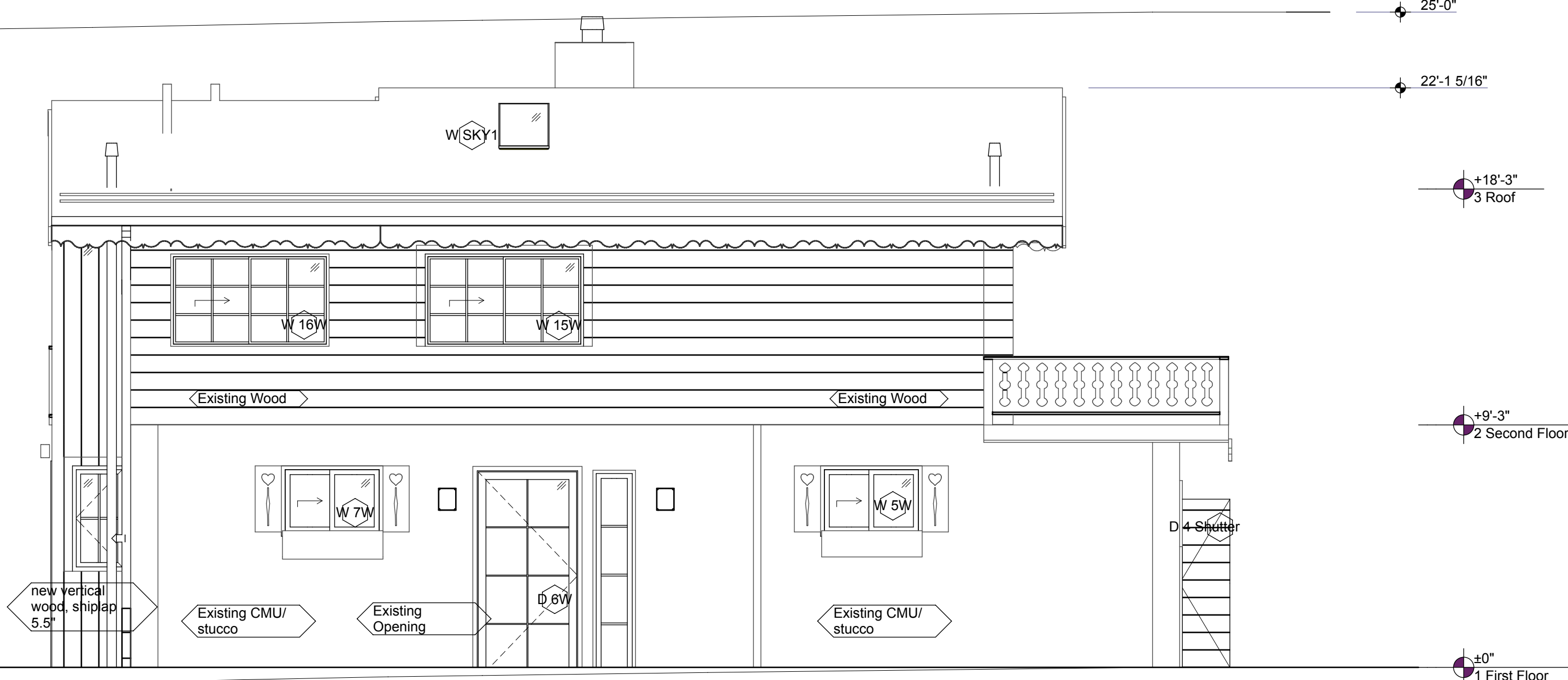
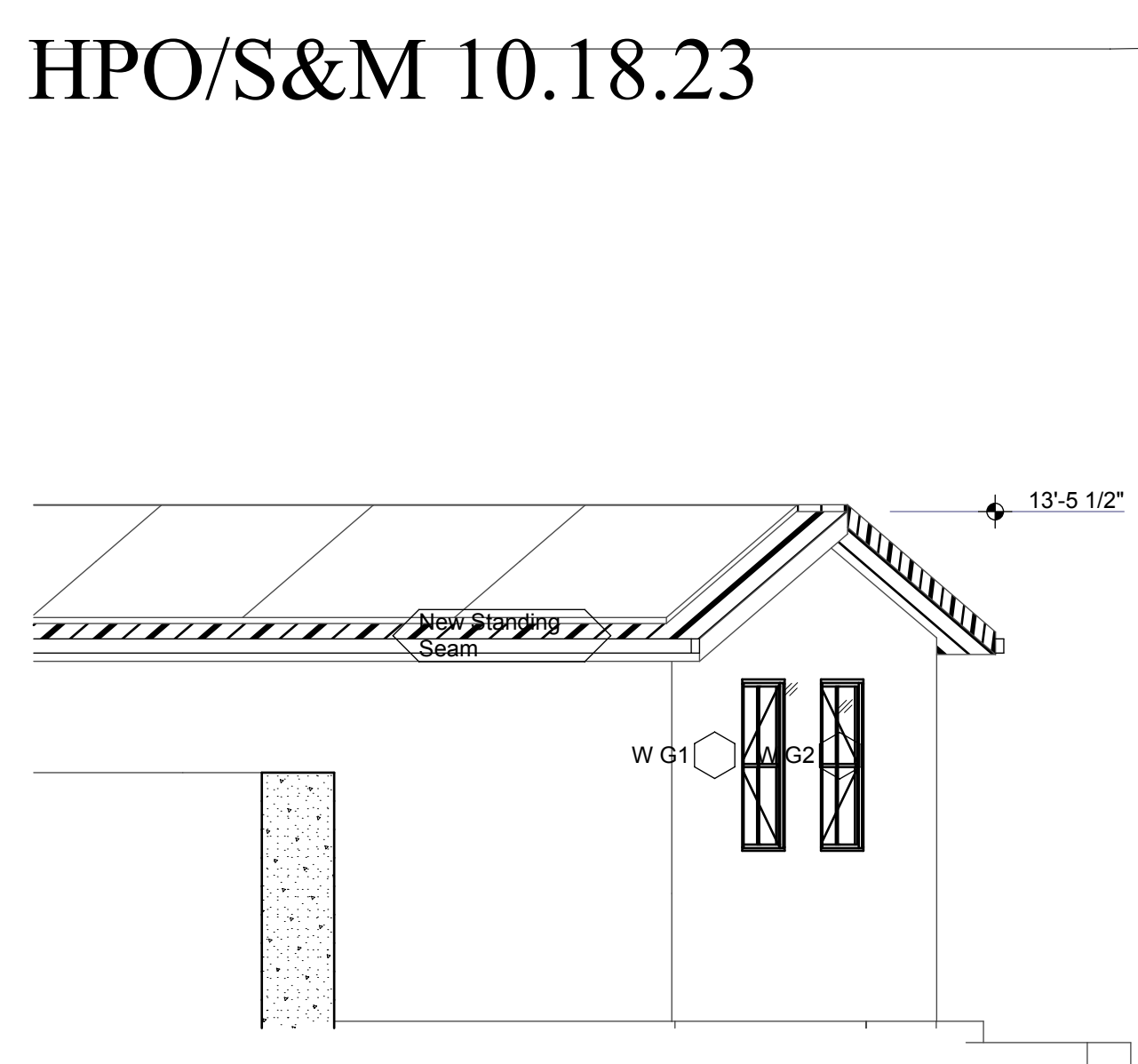
APPROVED HPC
RESO #5 2023

1 H6 Existing West Elevation
SCALE: 1/4" = 1'-0"



APPROVED BY
HPO/S&M 10.18.23

3 H6 Approved



3 H6 HPO Approved
SCALE: 1/4" = 1'-0"

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**Existing, HPC Approved,
HPO Approved**

H6

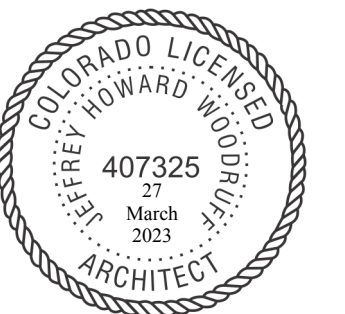
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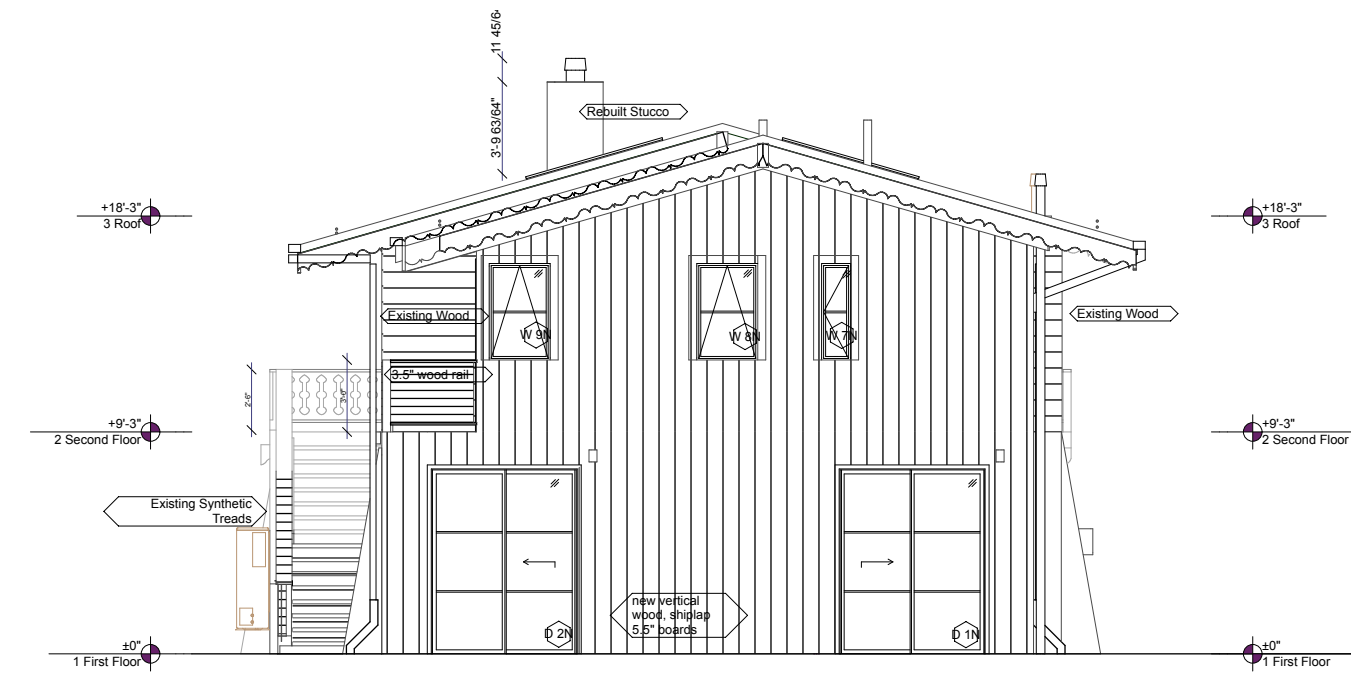
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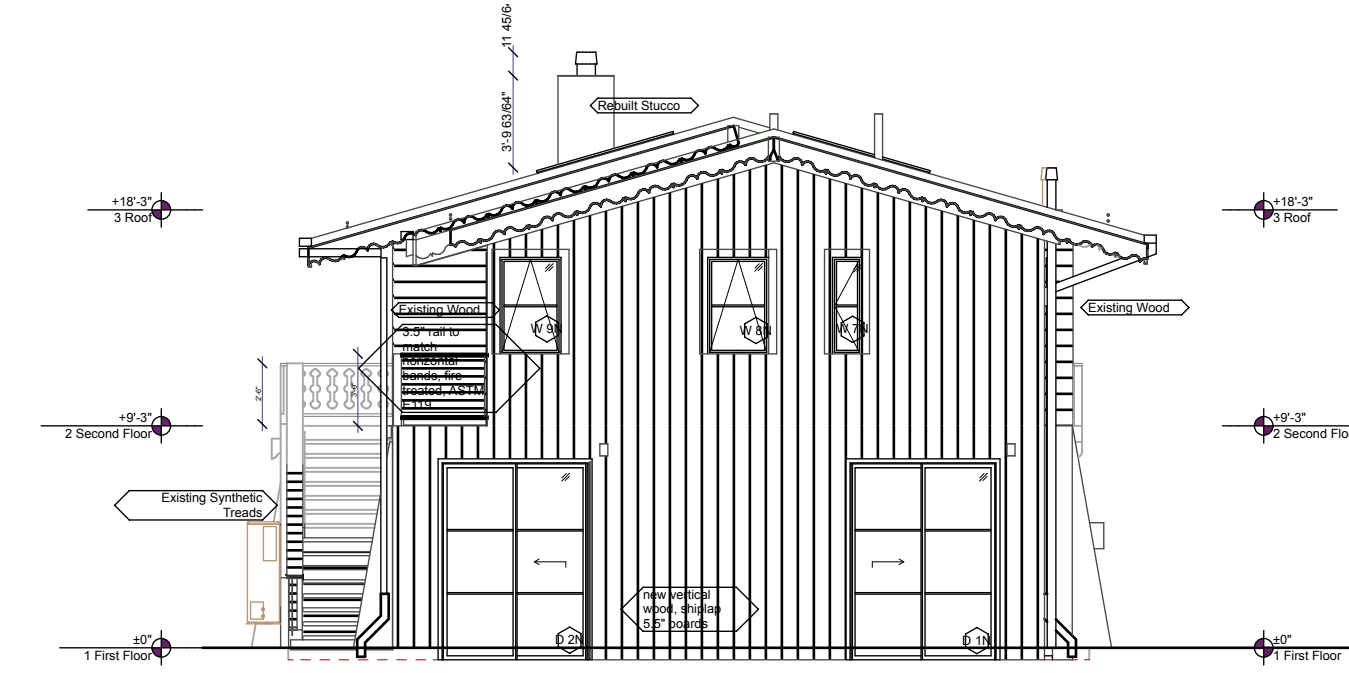
SHEET TITLE
HPC Approved and SAM

H7

SHEET 39



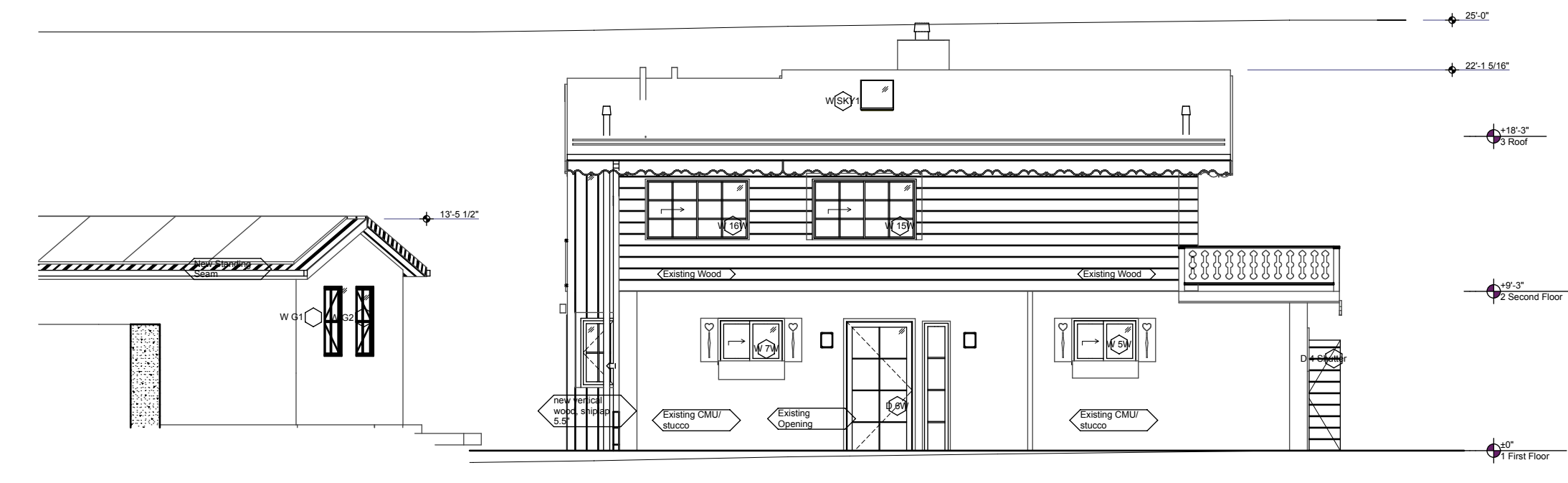
3 First Floor HPC Approved
SCALE: 6" = 1'-0"



3 H7 HPO SAM Proposed
SCALE: 1/8" = 1'-0"

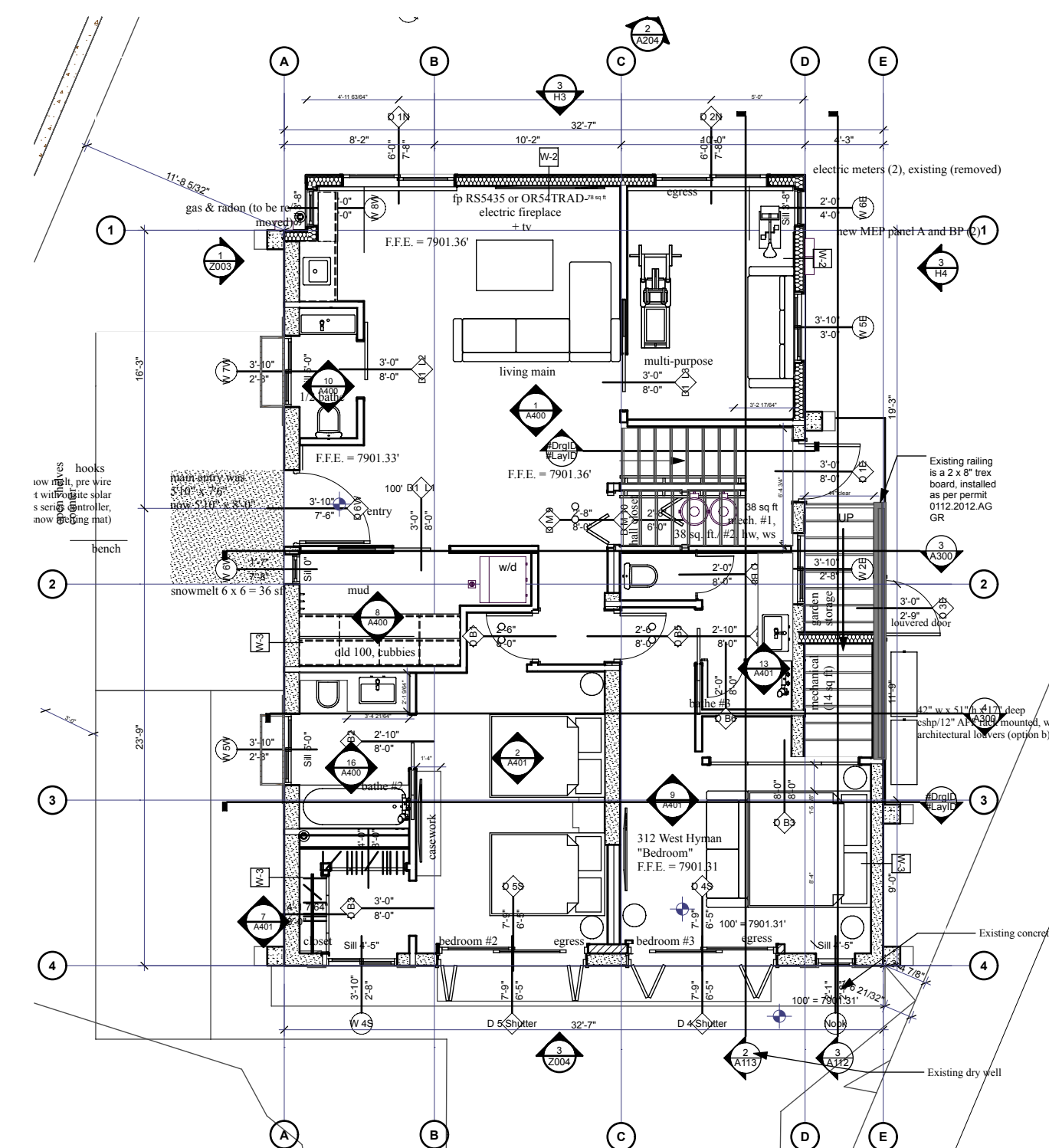


6 H7 HPO Approved
SCALE: 1/4" = 1'-0"

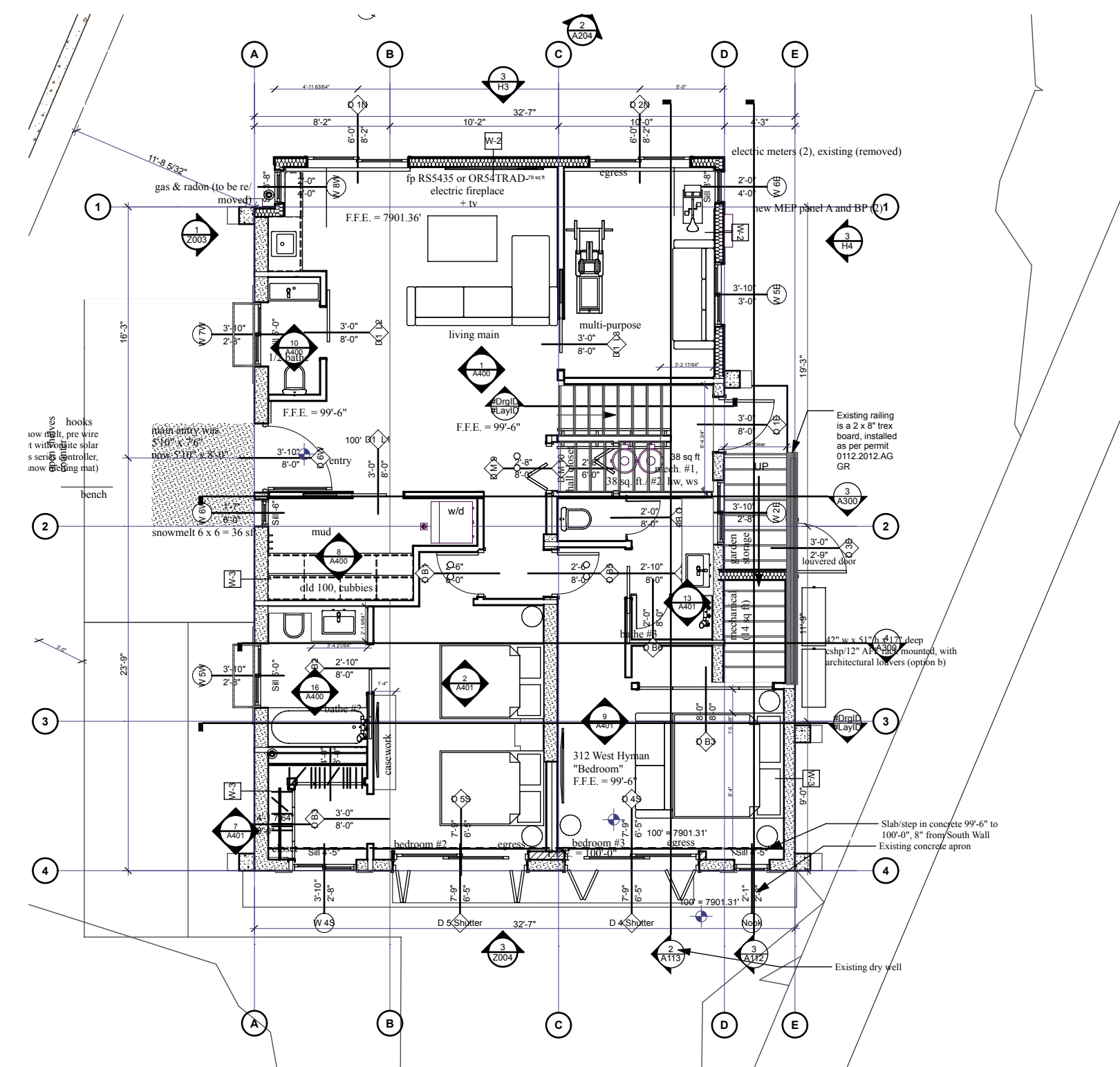


3 H7 HPO Approved
SCALE: 1/8" = 1'-0"

6 H7 First Floor HPC Approved
SCALE: 6" = 1'-0"



4 H7 First Floor HPC Approved
SCALE: 1" = 1'-0"



5 H7 First Floor SAM proposed
SCALE: 1/8" = 1'-0"

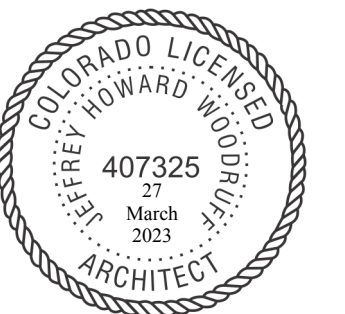
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SHEET TITLE

Contractor Site Plan CMP

A102

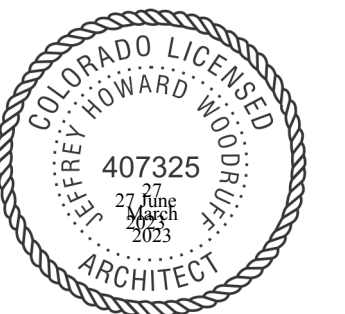
SHEET 41



TRAFFIC FLOW FROM
MAIN TO 2ND TO W. HYMAN TO 3RD TO
PROPERTY ALLEY BLOCK 46

INTEGRATED DESIGN TEAM

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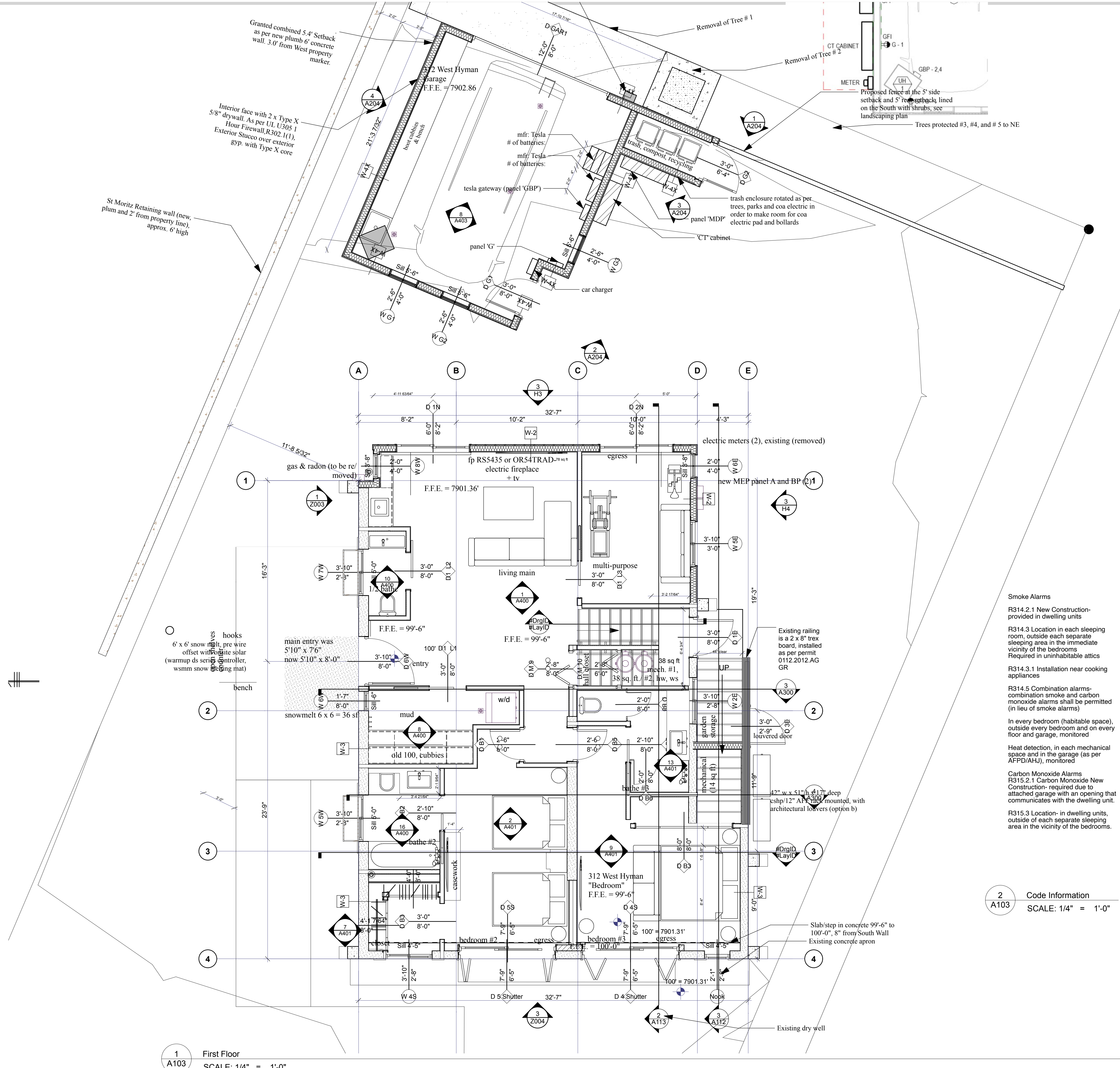
SHEET TITLE

**Main Level Proposed
Plan**

A103

SHEET 42

/Users/jeffrey/Documents/Cloud Hill/312 West Hyman/312_W_Hyman_07292024.pln



1 First Floor
A103 SCALE: 1/4" = 1'-0"

2 Code Information
A103 SCALE: 1/4" = 1'-0"

Smoke Alarms
R314.2.1 New Construction- provided in dwelling units
R314.3 Location in each sleeping room, outside each separate sleeping area in the immediate vicinity of the bedrooms
Required in uninhabitable attics
R314.3.1 Installation near cooking appliances
R314.5 Combination alarms- combination smoke and carbon monoxide alarms shall be permitted (in lieu of smoke alarms)
In every bedroom (habitable space), outside every bedroom and on every floor and garage, monitored
Heat detection, in each mechanical space and in the garage (as per AFPD/AHJ), monitored
Carbon Monoxide Alarms
R315.2.1 Carbon Monoxide New Construction- required due to attached garage with an opening that communicates with the dwelling unit.
R315.3 Location- in dwelling units, outside of each separate sleeping area in the vicinity of the bedrooms.



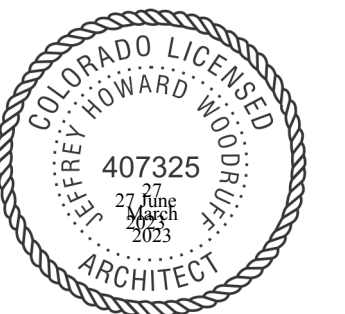
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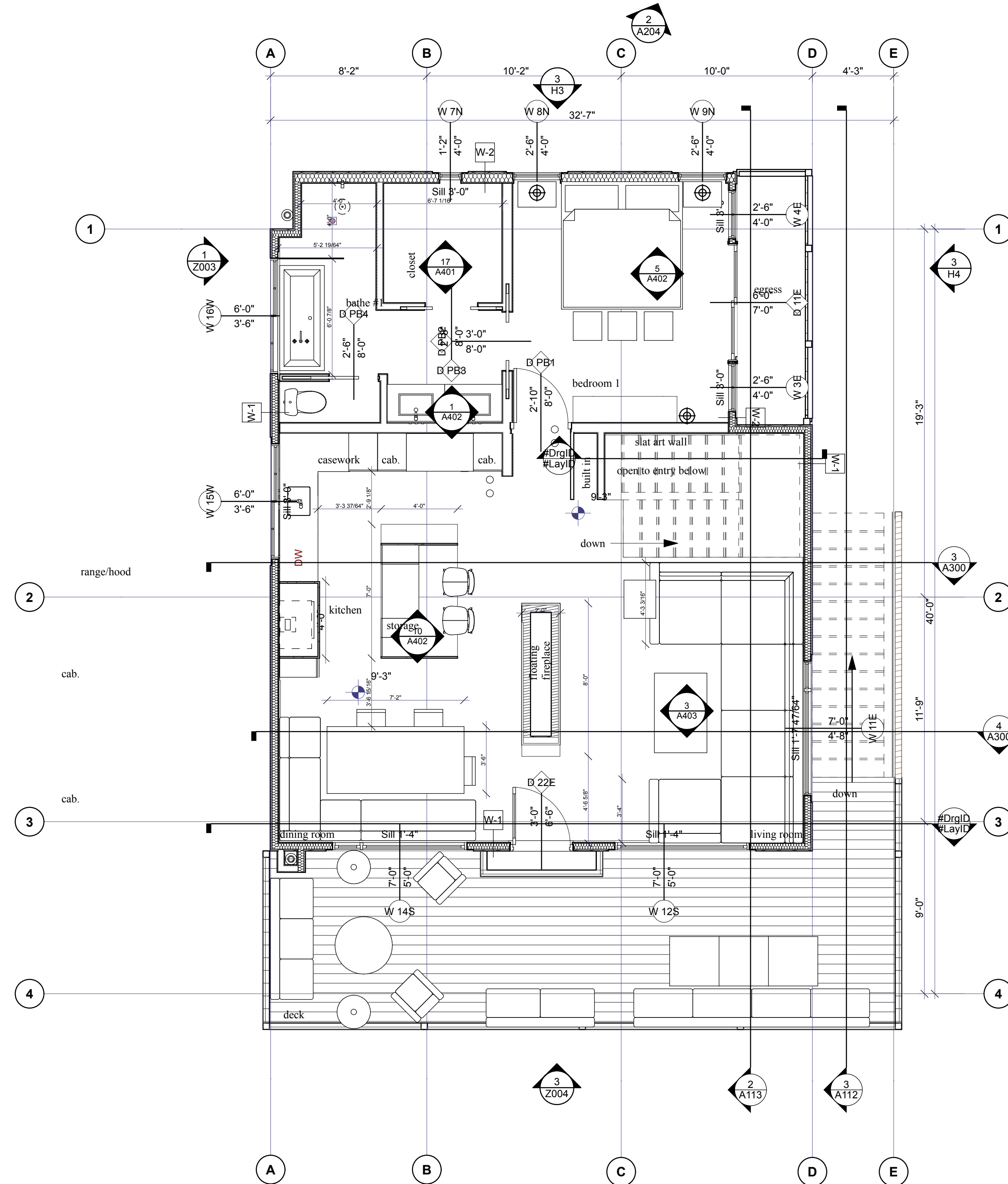
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Smoke Alarms
R314.2.1 New Construction-
provided in dwelling units
R314.3 Location in each sleeping
room, outside each separate
sleeping area in the immediate
vicinity of the bedrooms
Required in uninhabitable attics
R314.3.1 Installation near cooking
appliances
R314.5 Combination alarms-
combination smoke and carbon
monoxide alarms shall be permitted
(in lieu of smoke alarms)
In every bedroom (habitable space),
outside every bedroom and on every
floor and garage, monitored
Heat detection, in each mechanical
space and in the garage (as per
AFPD/AHJ), monitored
Carbon Monoxide Alarms
R315.2.1 Carbon Monoxide New
Construction- required due to
attached garage with an opening that
communicates with the dwelling unit.
R315.3 Location- in dwelling units,
outside of each separate sleeping
area in the vicinity of the bedrooms.

2
A104 Code Information
SCALE: 1/4" = 1'-0"



1
A104 Second Floor
SCALE: 1/4" = 1'-0"



SHEET TITLE

**Second Level Proposed
Plan**

A104

SHEET 43

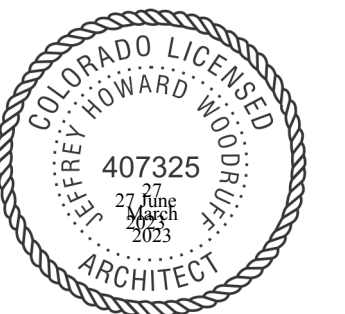
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SHEET TITLE
Roof Plan Proposed

A105

SHEET 44

6kw solar electric system for (2) separate meters based on 16 panels on the garage. With 10% shade loss and 15% snow loss for the year the system will produce about 14,862kWh. For the batteries= (5). The homeowner's goals are to have the batteries supplying power for both panels during a grid outage for hours or days during the winter, hence the larger size. During the winter with snow coverage, the panels would not produce much to replenish the batteries once they are drained. Electric car charger hook up as per City of Aspen.

Roof is a Zinc Grey Standing Seam Tee-Panel (profile) Metal Roof by Berridge Manufacturing Company. Gutters, downspouts, downspout clips and elbows are all Zinc Grey. Fascia is Zinc Grey. (The main chalet is a black asphaltic roof and a city heat island. The garage will be Zinc Grey and the solar panels will absorb the solar radiation).

Complying with Chapter 7 Historic Preservation Guidelines
Gutters, Downspouts, Snowstops, and Snow Fences

Gutters and downspouts are used to divert water away from a structure.

Snow fences are used to protect inhabitants and the building from the sudden snow avalanches that rip off architectural details and can cause serious injury. Gutters can be seen in some 19th century photos of historic buildings and are more common on AspenModern structures. Overall, the visual impact of these functional elements should be minimized.

7.10 Design gutters so that their visibility on the structure is minimized to the extent possible.

- Downspouts should be placed in locations that are not visible from the street if possible, or in locations that do not obscure architectural detailing on the building.
- The material used for the gutters should be in character with the style of the building.

Complying with IBC

IBC 1504.6.1 Gutter securement for low-slope roofs.
Gutters that are used to secure the perimeter edge of the roof membrane on low-slope (less than 2:12 slope) built-up, modified bitumen, and single-ply roofs, shall be designed, constructed and installed to resist wind loads in accordance with Section 1609 and shall be tested in accordance with Test Methods G-1 and G-2 of SPRI GT-1.

Character of gutter, downspout, downspout straps and elbows

Style of Gutter: Box Style A1, 24 Gage Galvalume, Box Downspout, downspout straps and Elbow in 3" x 4" in 24 Gage Galvalume, color to match decorative trim. (Today the brown decorative fascia has a brown gutter in ~K style on the East decorative fascia.

The existing gutters to be removed, and re-installed with Box Style A1 to match the decorative trim. Blocking should be added (interior face of the decorative trim, toe nailed to the rafters, painted to match and guarddog 2" (or sim.) screws should be used to install the new gutters (piercing the decorative trim and the newly installed blocking). Otherwise the existing (east) gutters will shear from the decorative trim.

Existing conditions

The decorative fascia is not covered by the current East gutters. The former owner installed gutters without accounting for the run off from the west side of the site and did not file a construction management plan; so the water is imperiling the fascia, the structure and not handled onsite as per City Engineering. The installed gutters on the east side of the building threaten the decorative fascia.

Gutters, Box Style A measure 3" deep/high and 4" wide (minimum as per mfr.)
West: The interior measurement of the fascia on the West is 10 1/4" deep/high.
East: The east gutters will not cover the decorative fascia, which appear narrower at ~8" deep. The east gutters, as currently installed do not cover the decorative fascia, but are a building and health and safety concern (all hardware daylight, shiners, typ).

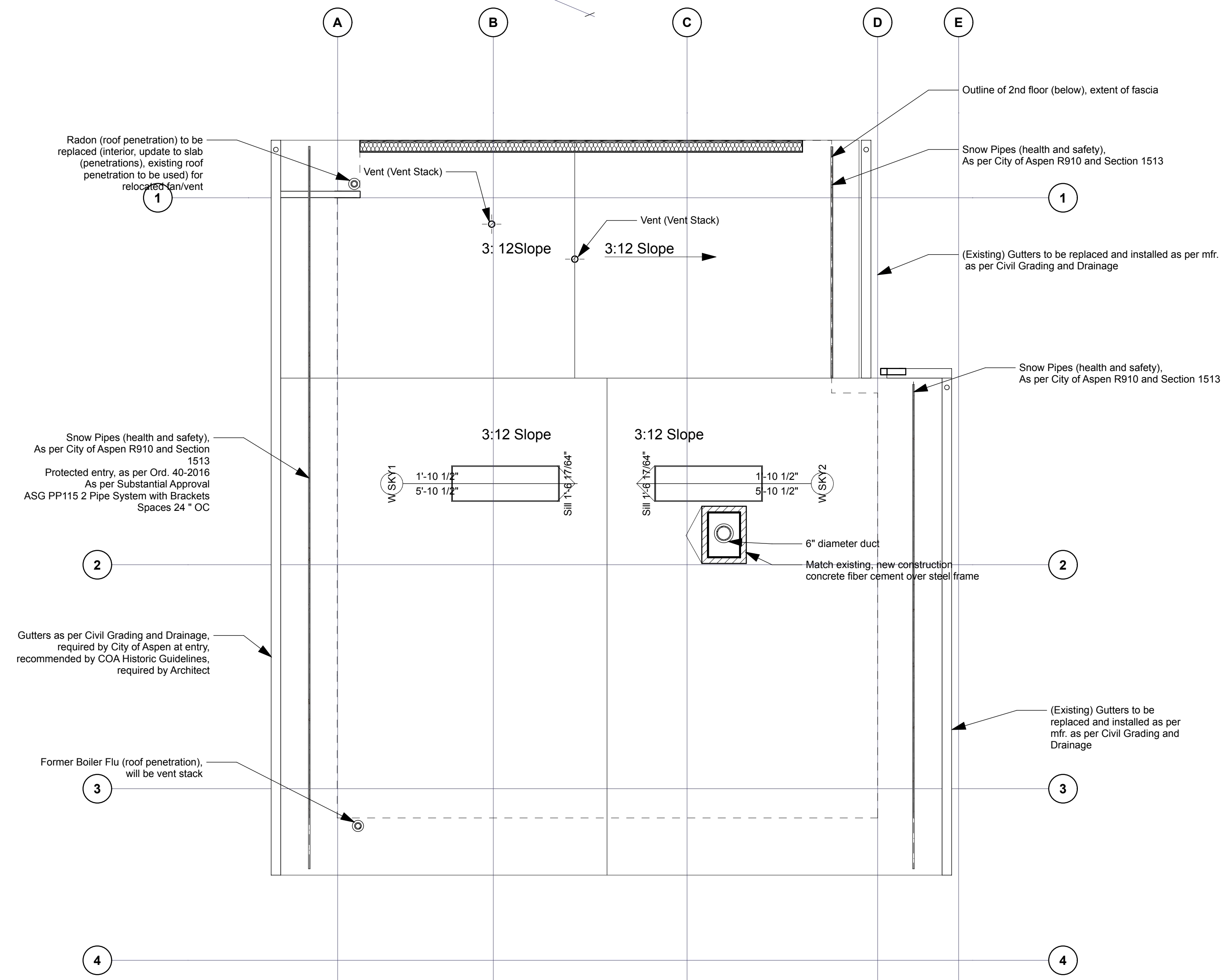
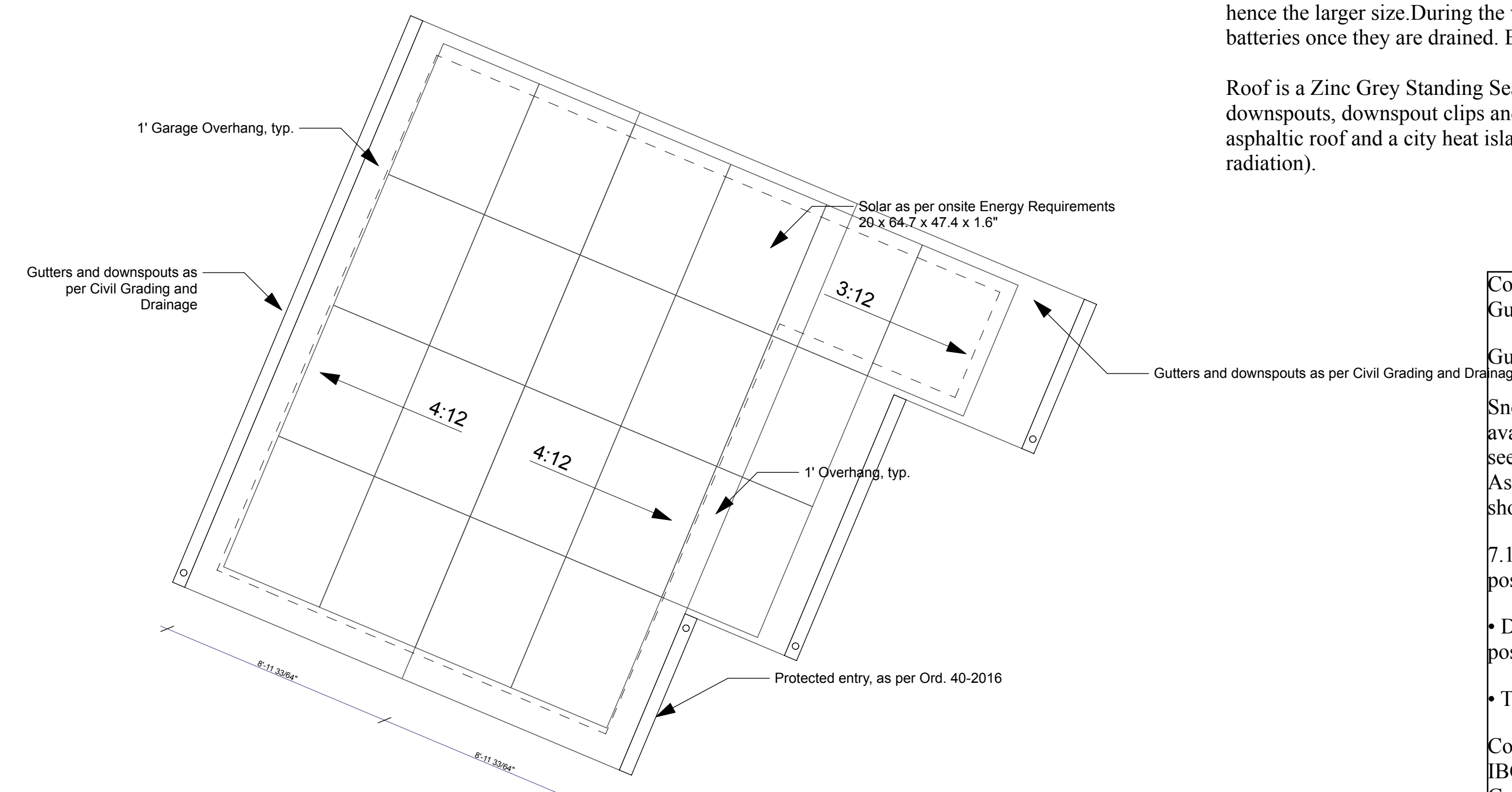
Note:

Gutters exist on the East fascia, as per City of Aspen adopted building code, they were not properly installed and jeopardize the historic decorative trim.
Install as per mfr. with blocking toenailed to the rafters, as per arch.

A dry well holds run-off from the east gable. The Trex deck drains to the dry well to the south.

Gutters on the west gable and a new dry well to the North of the structure bring the historic structure into compliance with the city of Aspen adopted building code (protection of occupants at entry and on-site capture and dispersion of water events).

Gutters and snow guards are required as per city of aspen 2016 Ord. 40.



1
A105
Roof Plan
SCALE: 1/4" = 1'-0"

Note:
Today this is a cold roof with attic vents. The current attic vents and screens are in disrepair (upon viewing from the attic). We are removing the dropped ceiling, removing the attic vents and exposing the rafters, adding insulation and updating the light and vent in a Chalet style.
The attic vent(s) will be converted to fenestration of the same size rough opening, (a hopper for light and vent, will not interfere with the south facing Juliet balcony).

U-Value for horizontal fenestration = .50 as per IECC 2021

As per currently adopted IRC

Section R910 Snow shed design. Roofs shall be designed so that they do not shed ice and snow onto adjoining properties or potentially occupied areas such as a walkway, stairway, alley, deck, pedestrian and vehicular exit from buildings or areas where there is potential for personal injury or property damage and areas directly above or in front of gas utility or electric utility meters. (Ord. 40-2016)

Section 1513 Snow shed design. Roofs shall be designed so that they do not shed ice and snow onto adjacent properties and potentially occupied areas such as a walkway, stairway, alley, deck, pedestrian and vehicular exit from buildings or areas where there is potential for personal injury or property damage and areas directly above or in front of gas utility or electric utility meters.

Two bar snow pipes as per submittal, specifications.

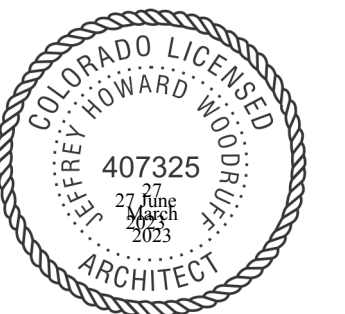
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312 W Hyman Ave Lots P+Q,
Block 46 Aspen CO 81611 USA/
Pitkin County UGB, City of Aspen
312 W Hyman Ave Aspen CO
81611 USA

Powder Day Skiing, LLC, David A
Tarrab Mees

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Parcel ID # 273512464006

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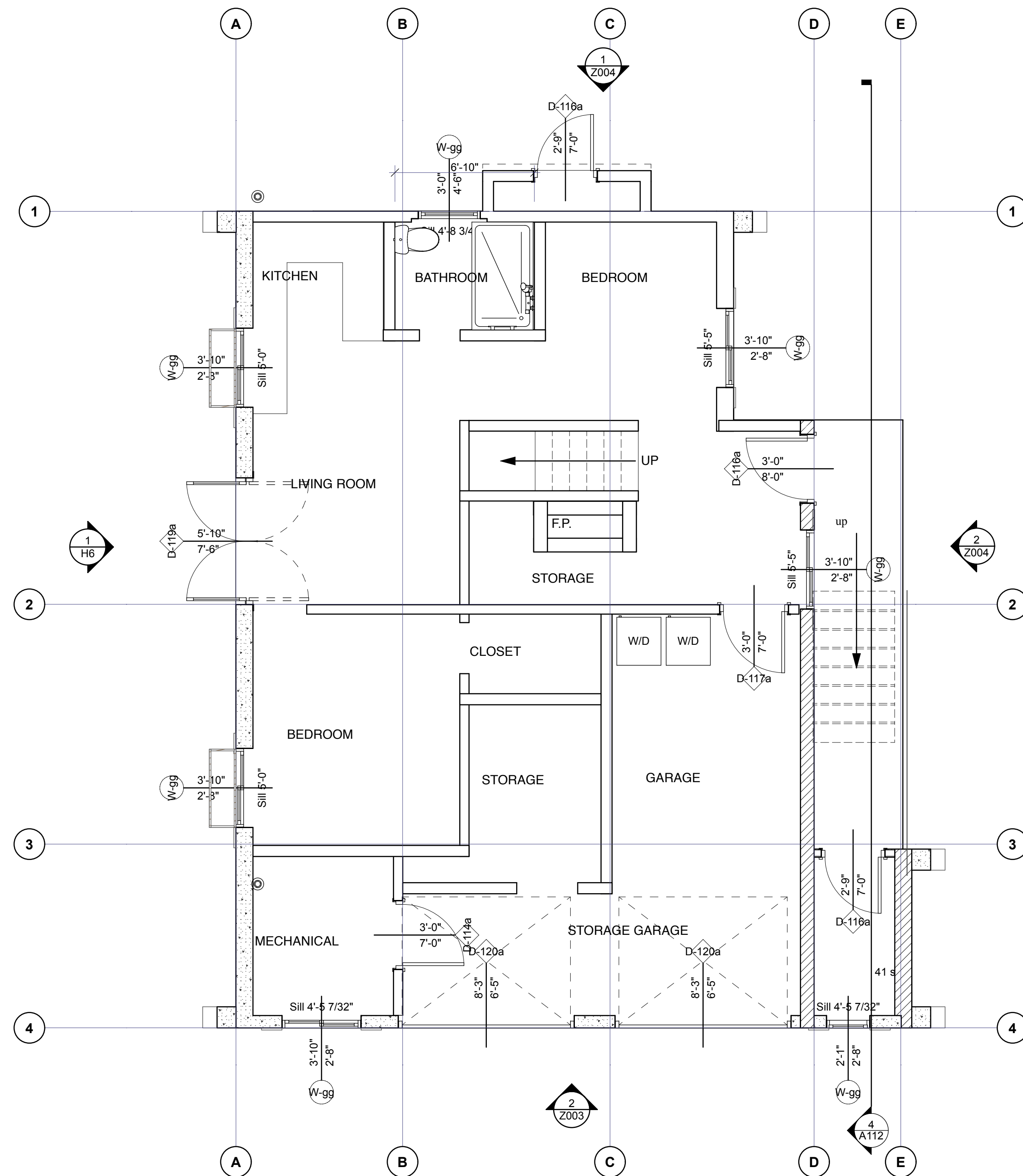
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Main Level Existing Plan

A106

SHEET 45



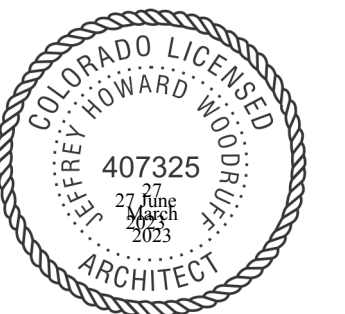
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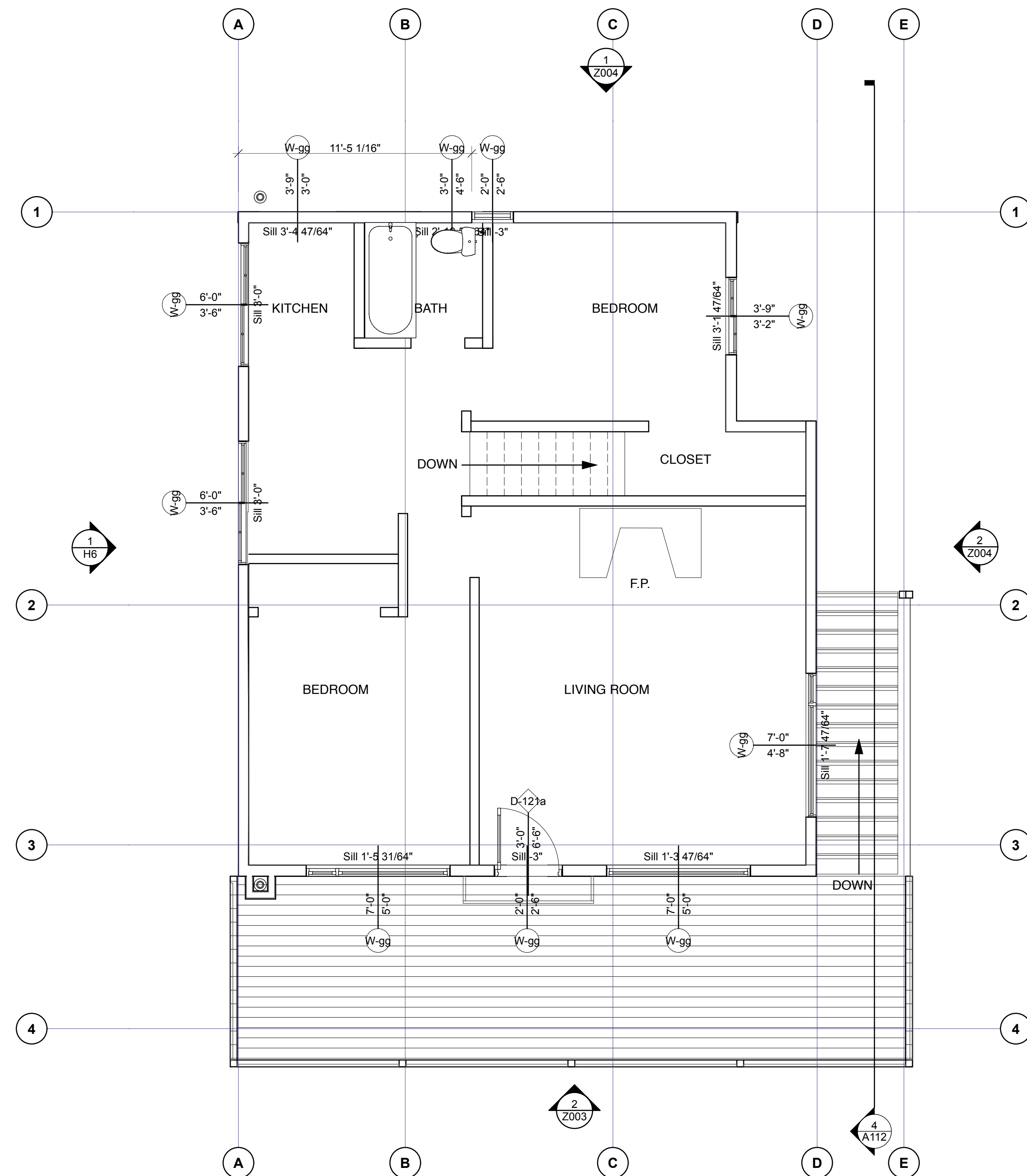
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**Second Level Existing
Plan**

A107

SHEET 46



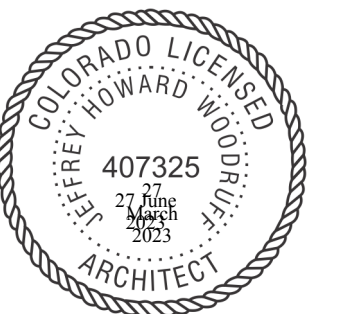
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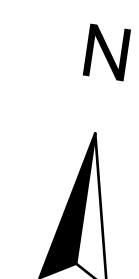
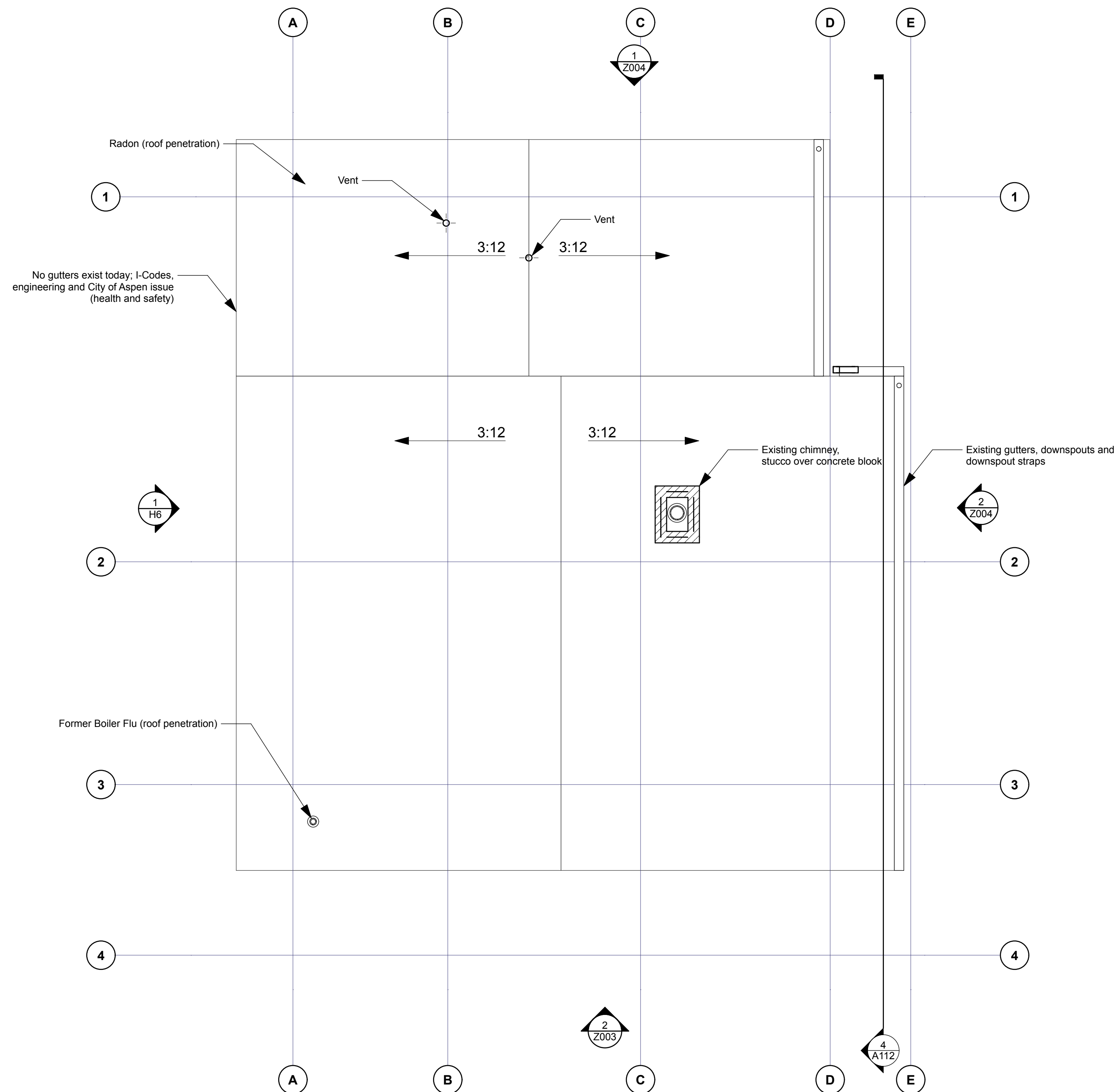
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Roof Plan Existing

A108

SHEET 47



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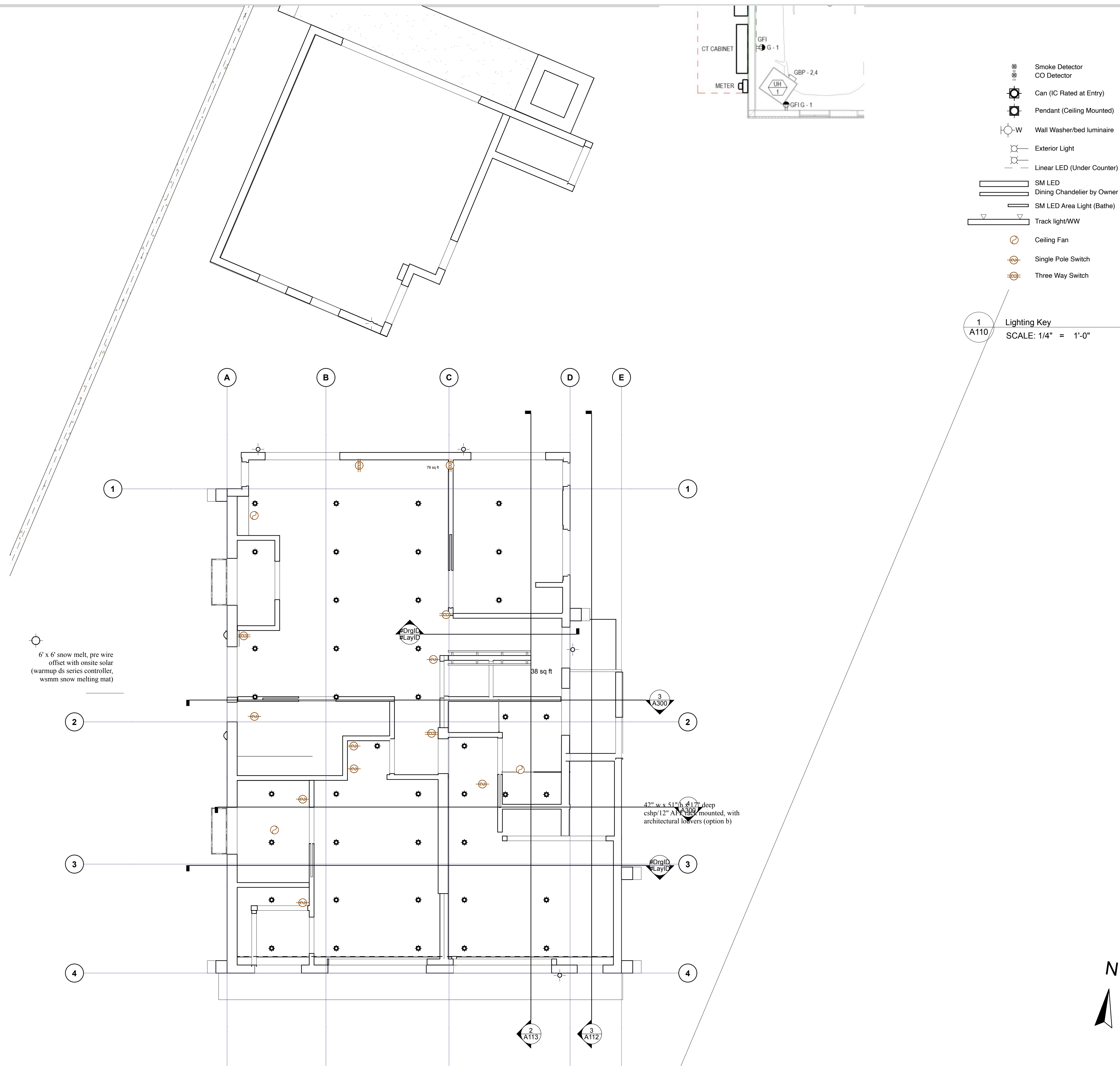
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Main Level RCP

A110

SHEET 48



1
A110
Lighting Key
SCALE: 1/4" = 1'-0"

2
A110
First Floor RCP
SCALE: 1/4" = 1'-0"

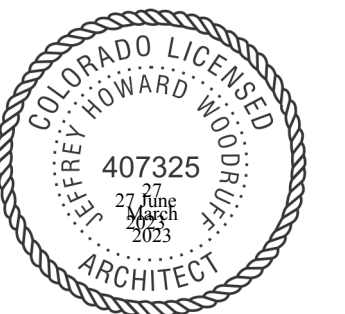
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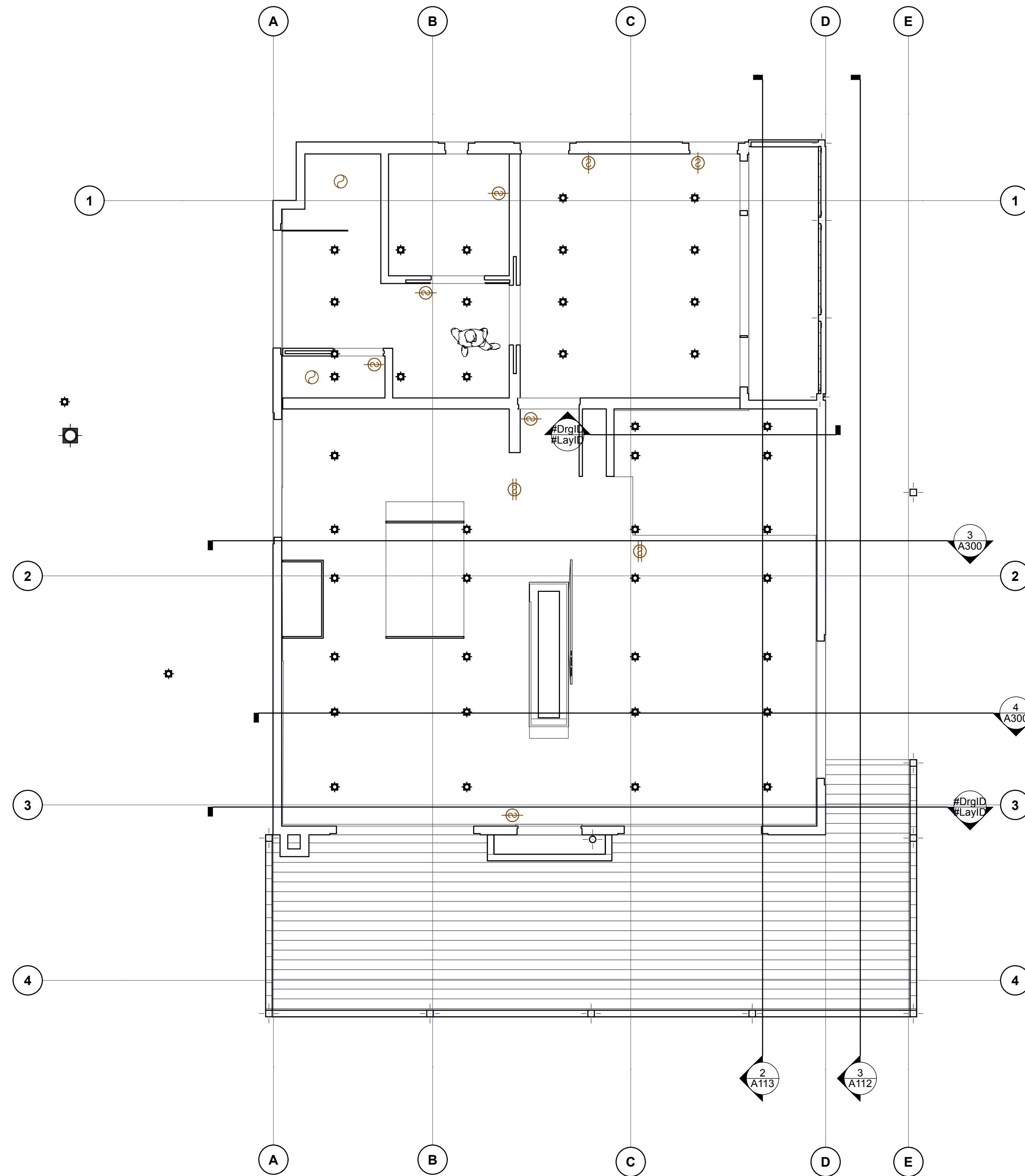
Second Level RCP

A111

SHEET 49

- ☉ Smoke Detector
- ☉ CO Detector
- ☉ Can (IC Rated at Entry)
- ☉ Pendant (Ceiling Mounted)
- ☉-W Wall Washer/bed luminaire
- ☉ Exterior Light
- ☉ Linear LED (Under Counter)
- ☉ SM LED
- ☉ Dining Chandelier by Owner
- ☉ SM LED Area Light (Bathe)
- ☉ Track light/WW
- ☉ Ceiling Fan
- ☉ Single Pole Switch
- ☉ Three Way Switch

1
A111 Lighting Key
SCALE: 1/4" = 1'-0"



2
A111 Second Floor RCP
SCALE: 1/4" = 1'-0"

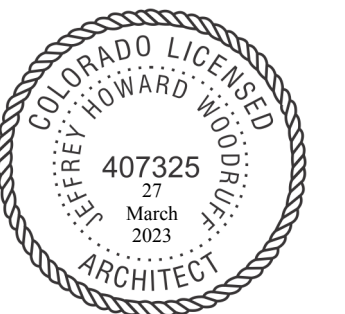
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Interior Stairs Enlarged

A113

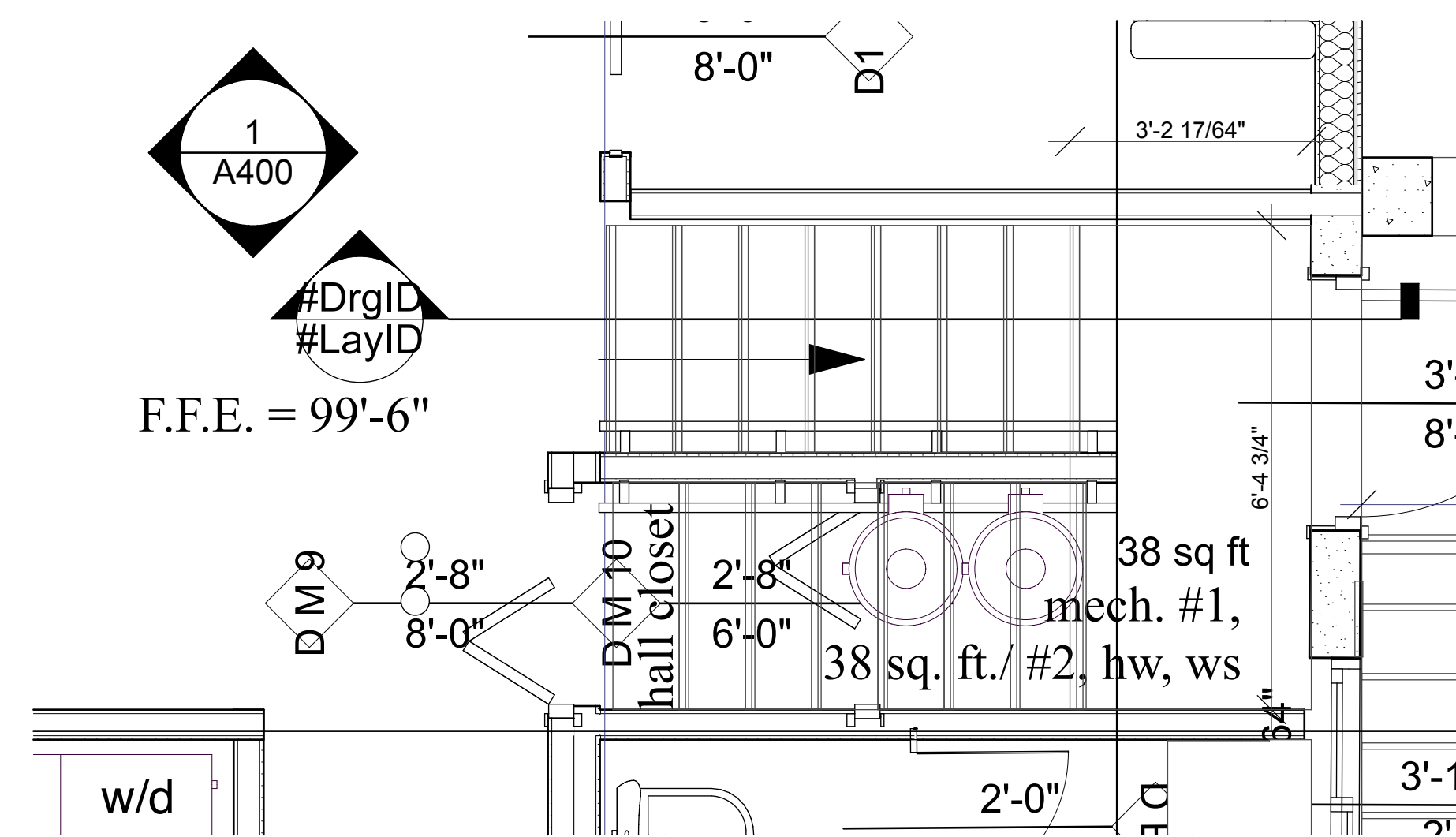
SHEET 51

1011.6 Stairway landing
Landing is 3'-2" deep by 6'-4" wide

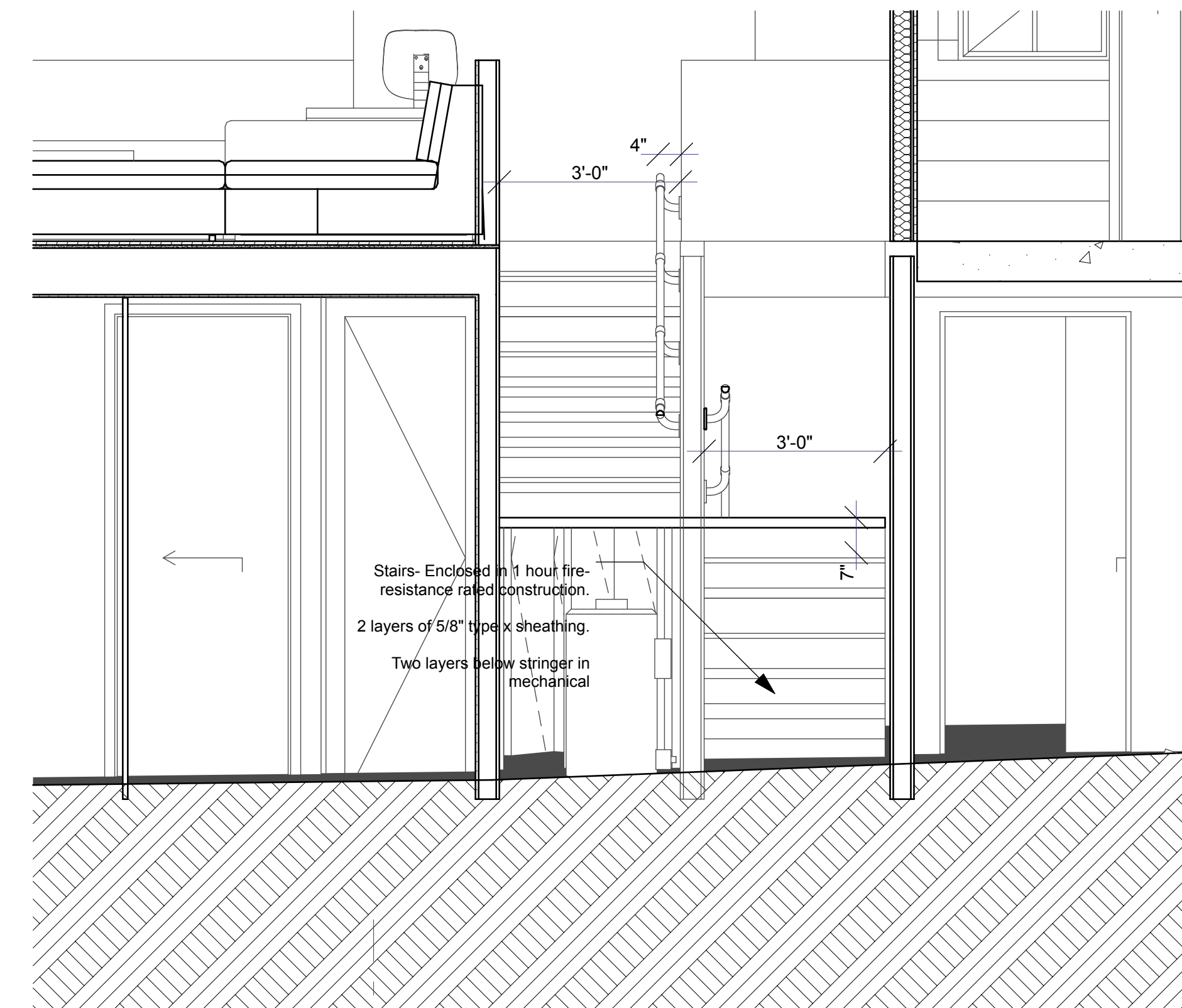
East side of landing is drywall- the East existing door is not visible from the interior of the stairwell. The door is visible from the exterior into the mechanical.

1011.7 Stairway construction
Wood handrails with leather stitched wrap handrail

1011.1 General
1011.5.5 Nosing curvature of 1/16"
1011.5.5.1 Nosing Projection Size
.5" Nosing projection
1011.5.4 Dimensional Uniformity
Risers vertical, 7"
Treads 11"
1011.3 Headroom not less than 80"
maintained, see section, 8'-3" > 80"



1 First Floor
A113 SCALE: 1/2" = 1'-0"



2 Section at new interior stairs
A113 SCALE: 1/2" = 1'-0"

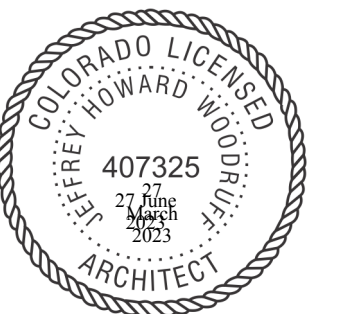
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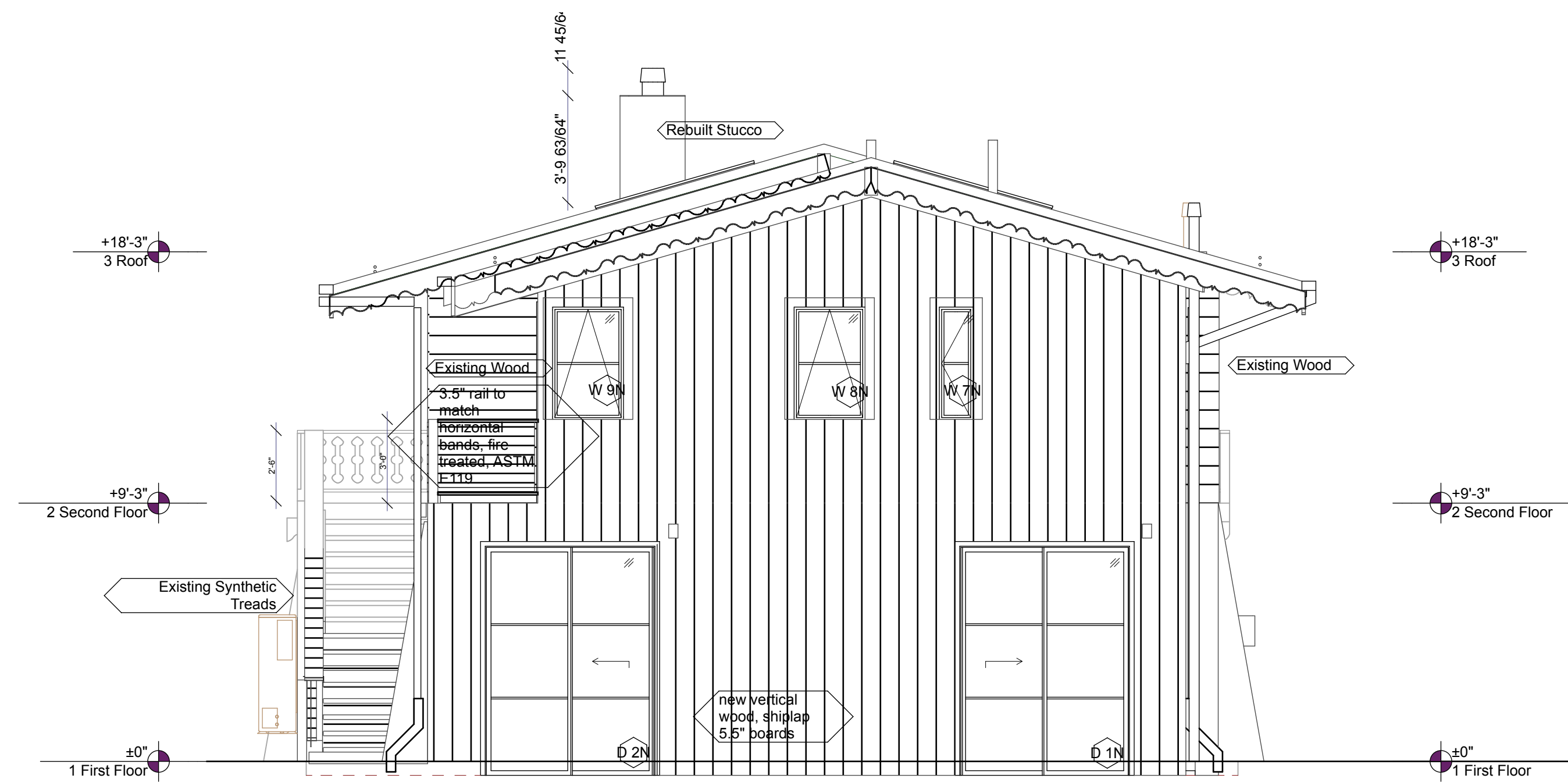
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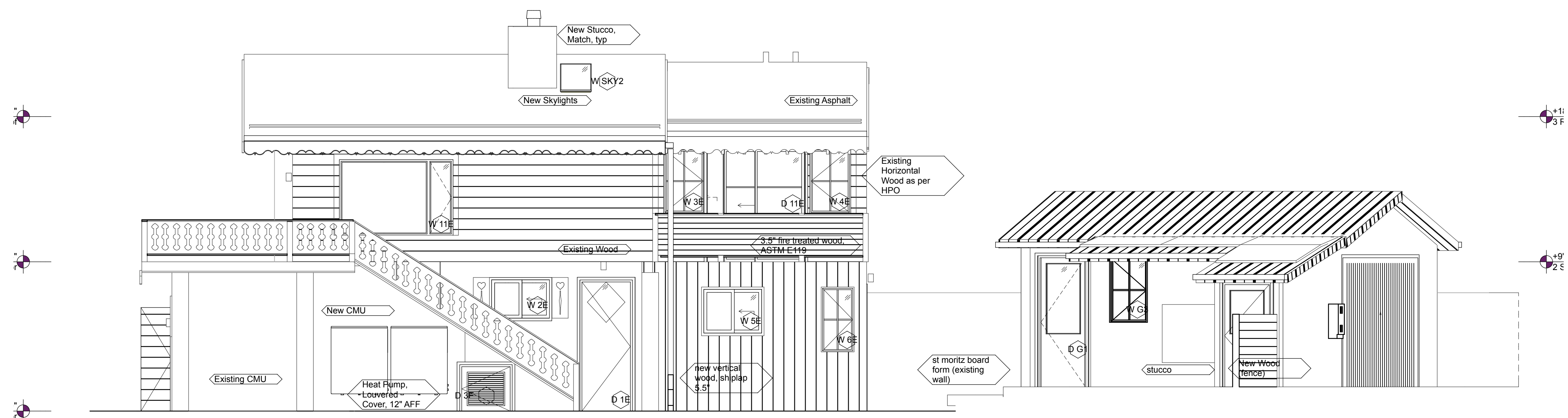
Elevations Proposed

A200

SHEET 52



1 North Elevation
A200 SCALE: 1/4" = 1'-0"



2 East Elevation
A200 SCALE: 1/4" = 1'-0"

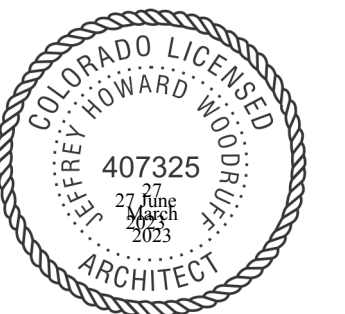
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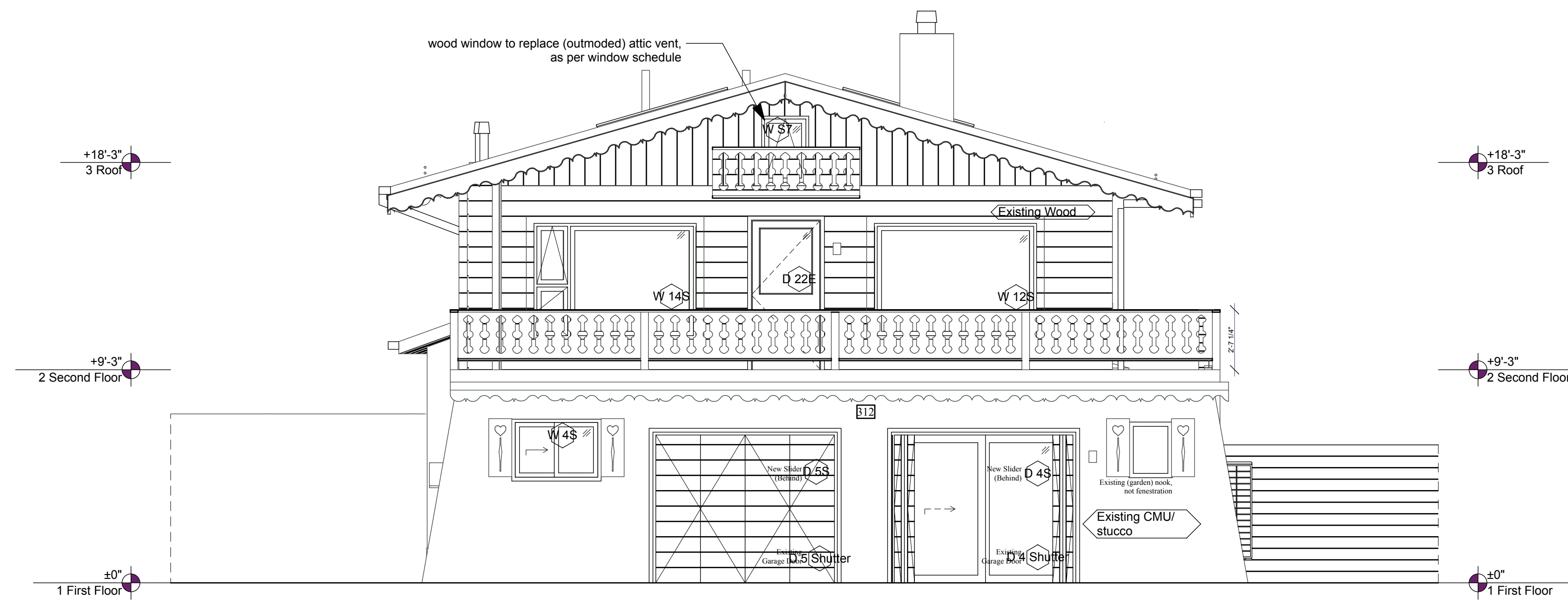
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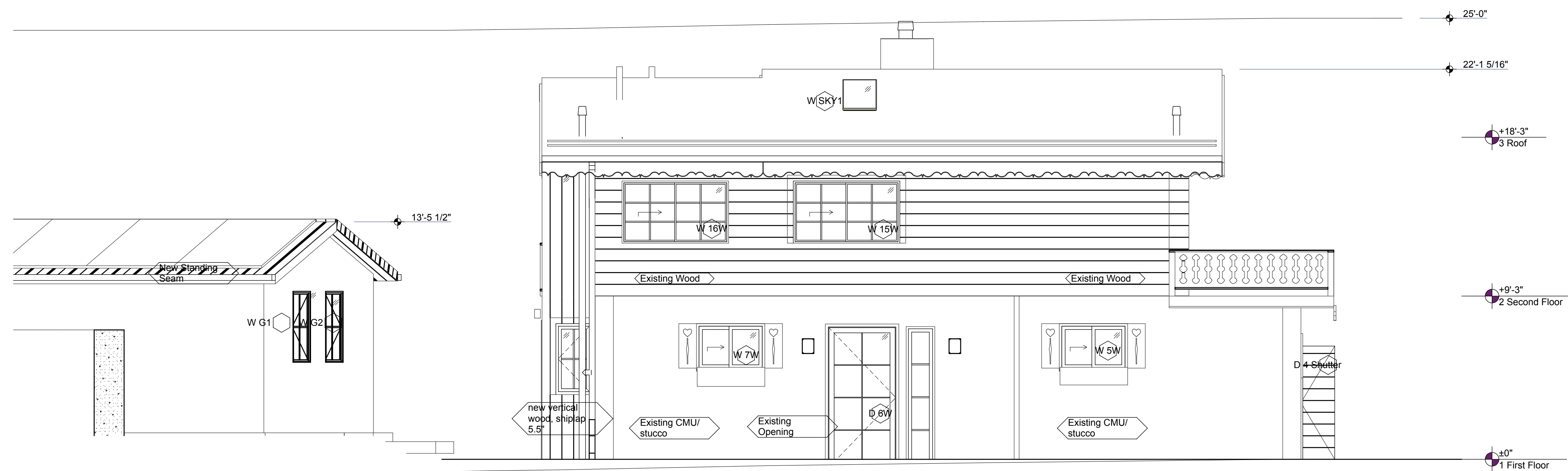
Elevations Proposed

A201

SHEET 53



1 South Elevation
A201 SCALE: 1/4" = 1'-0"



2 West Elevation
A201 SCALE: 1/4" = 1'-0"

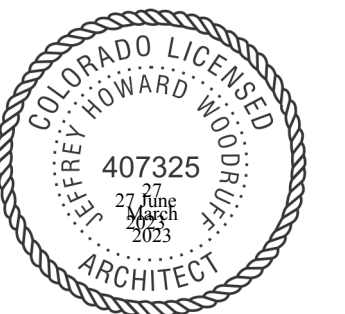
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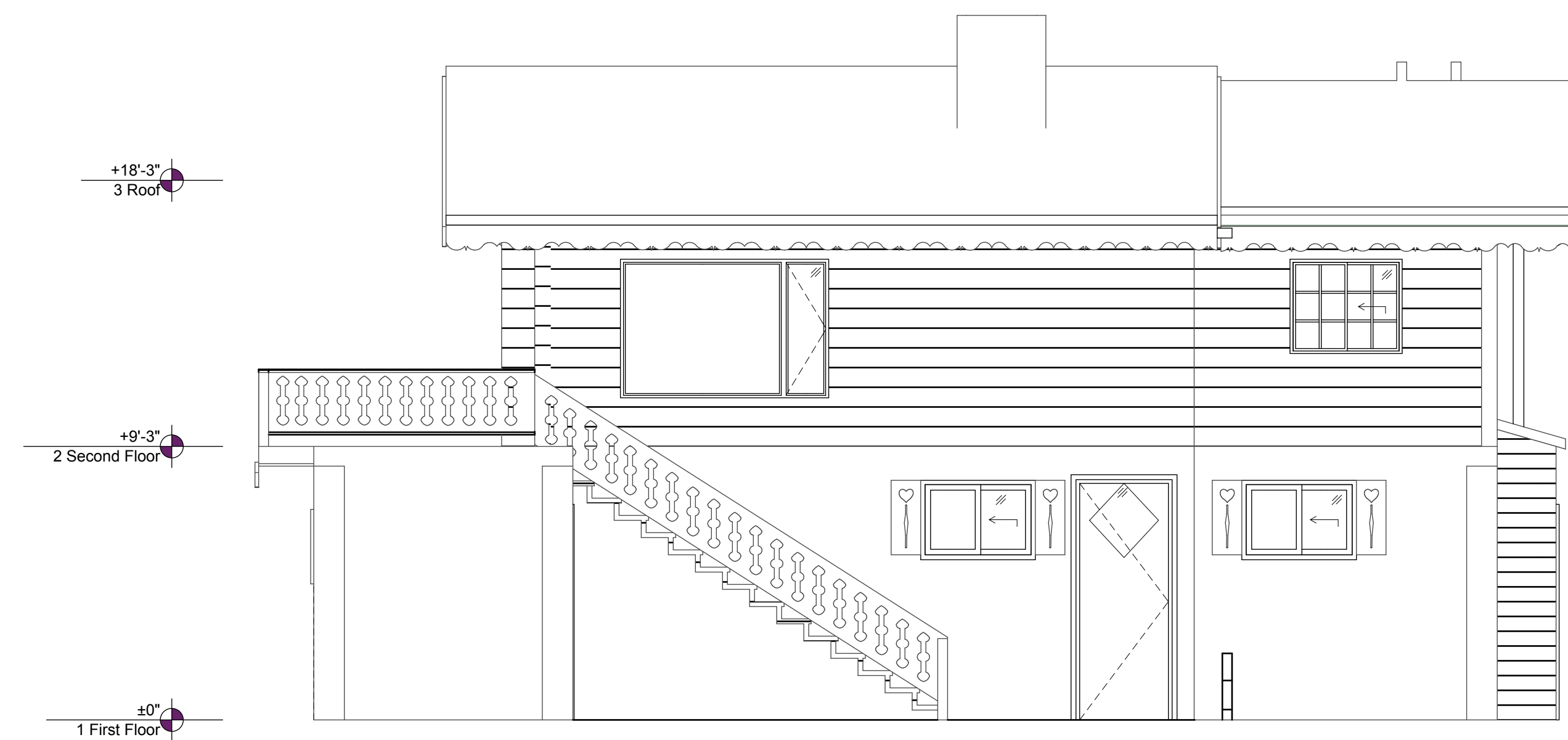
Existing Elevations

A202

SHEET 54



1 Existing North Elevation
A202 SCALE: 1/4" = 1'-0"



2 Existing East Elevation
A202 SCALE: 1/4" = 1'-0"

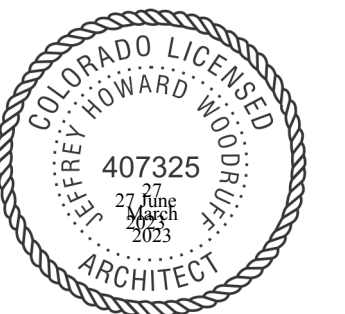
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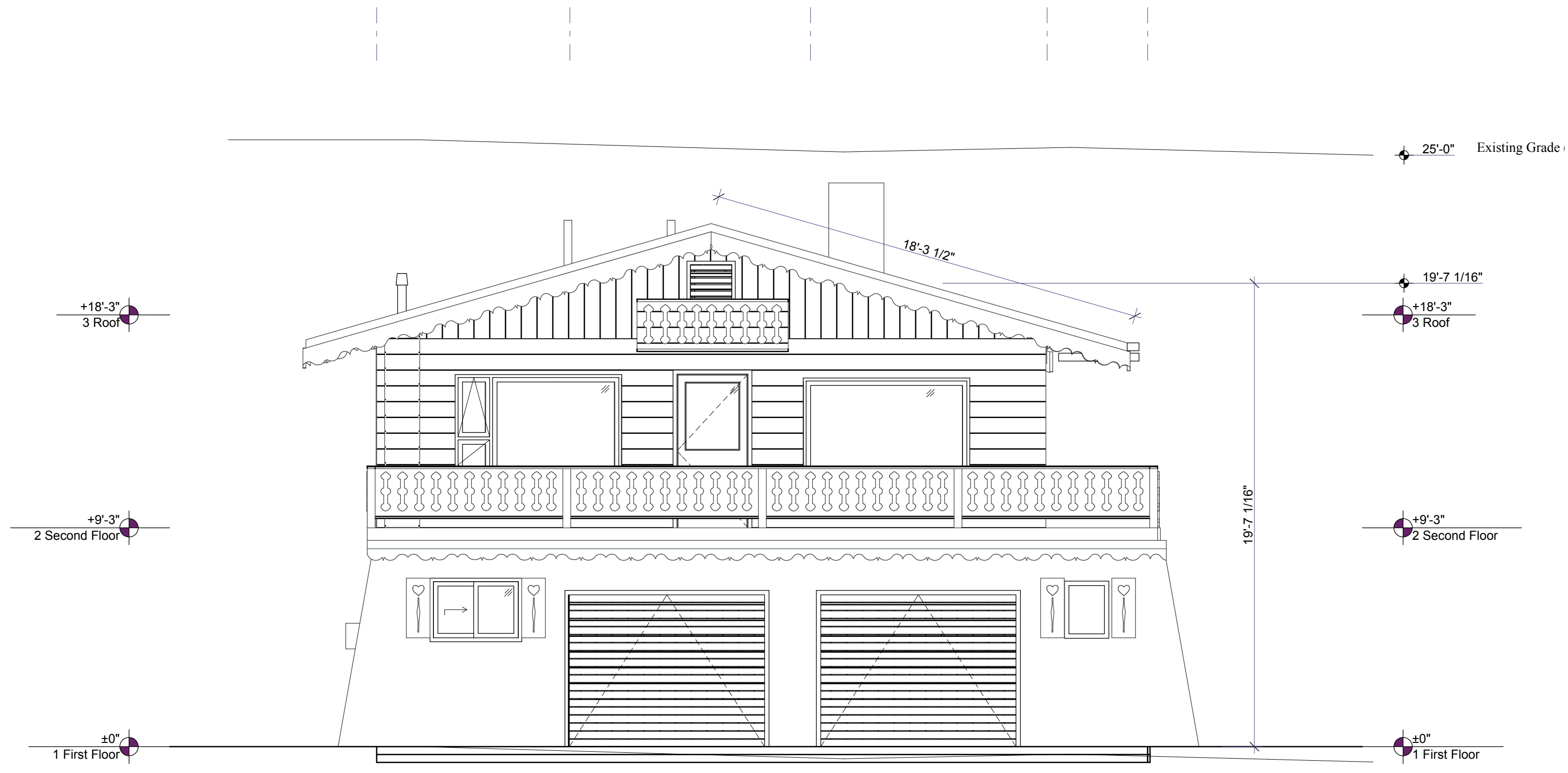
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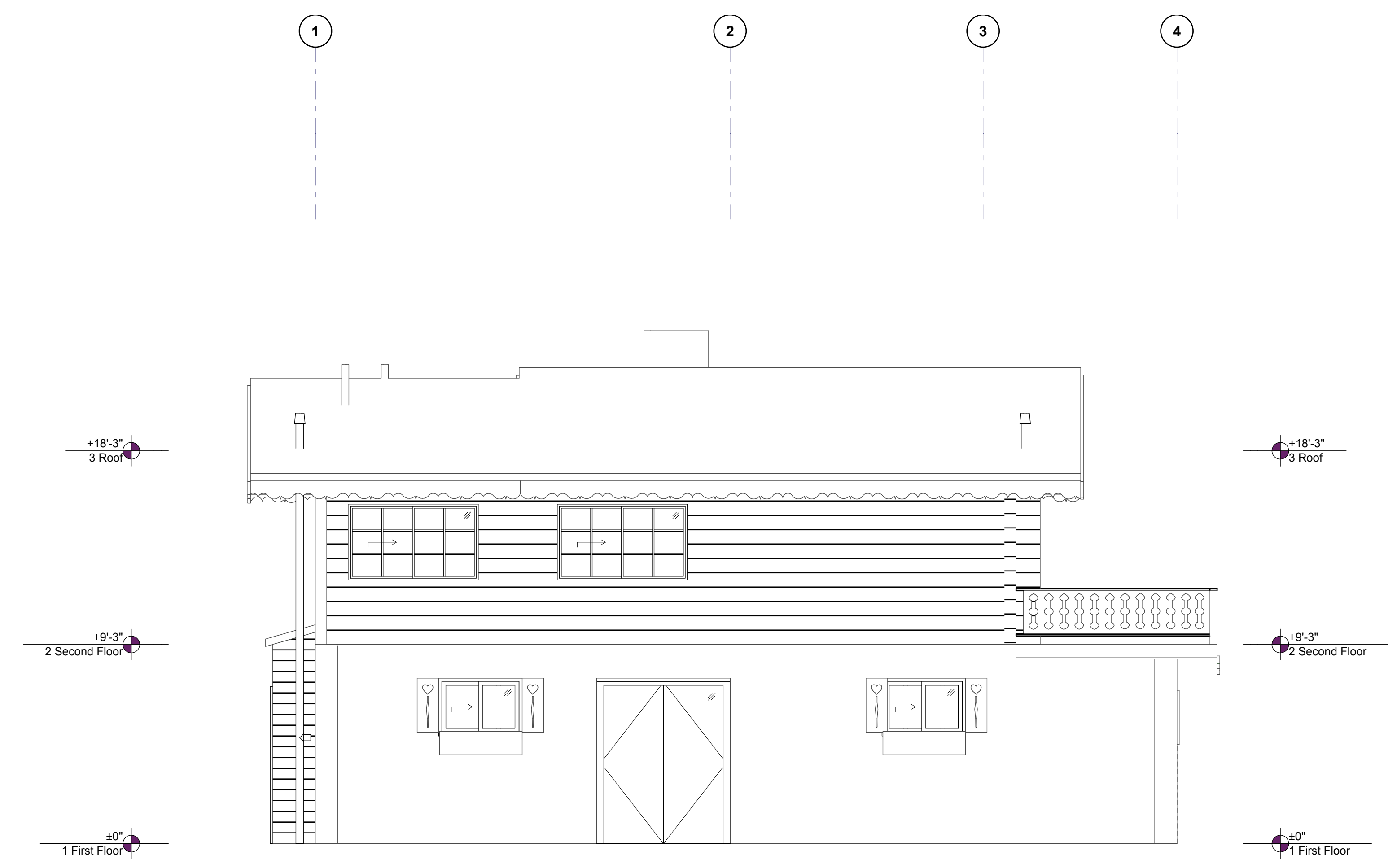
Existing Elevations

A203

SHEET 55



1 Existing South Elevation
A203 SCALE: 1/4" = 1'-0"



2 Existing West Elevation
A203 SCALE: 1/4" = 1'-0"

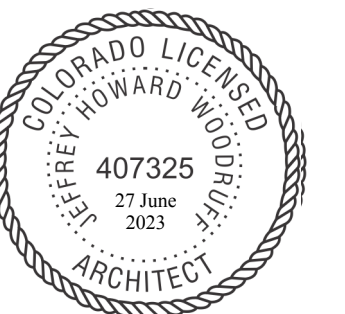
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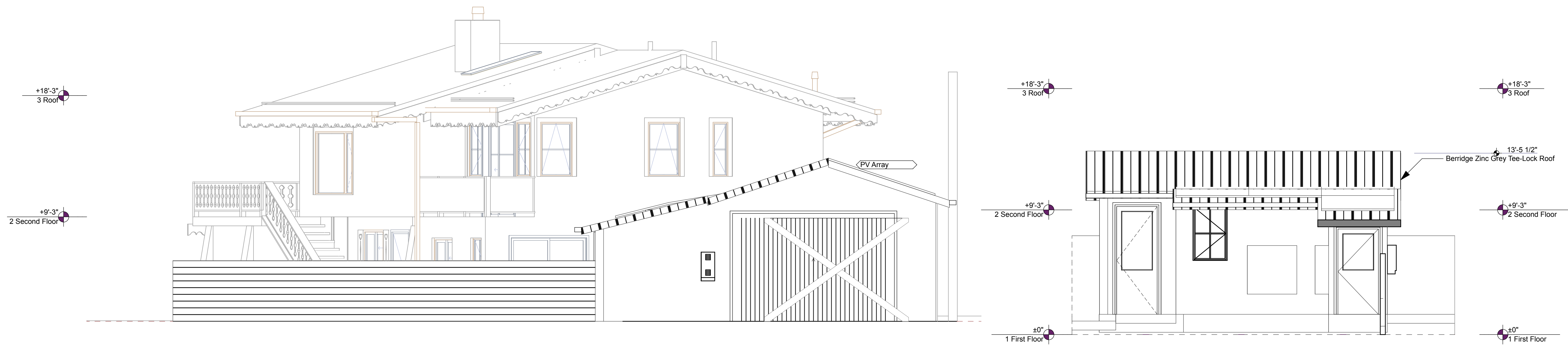
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Garage Elevations

A204

SHEET 56

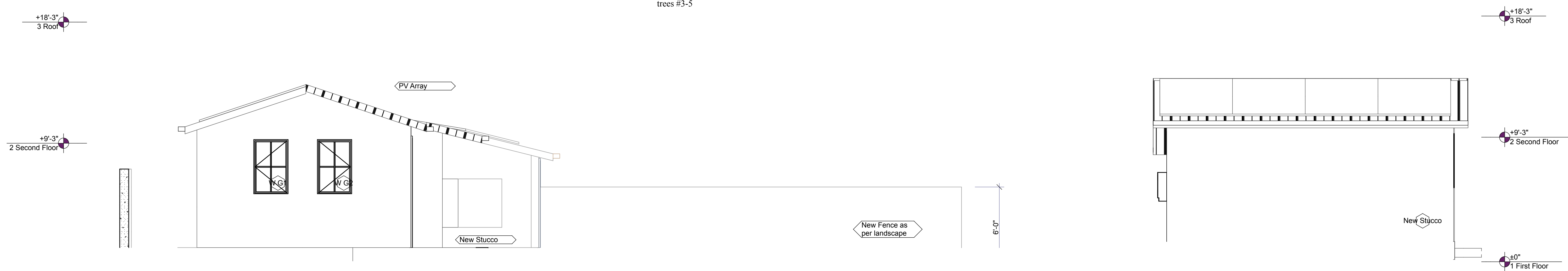


1
A204 Garage Elevation North
SCALE: 1/4" = 1'-0"

3
A204 East Elevation
SCALE: 1/4" = 1'-0"

Garage is clad in wood,
with a stone base

trees #3-5



2
A204 Garage South Elevation
SCALE: 1/4" = 1'-0"

4
A204 West Elevation
SCALE: 1/4" = 1'-0"

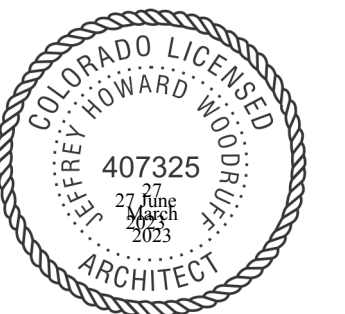
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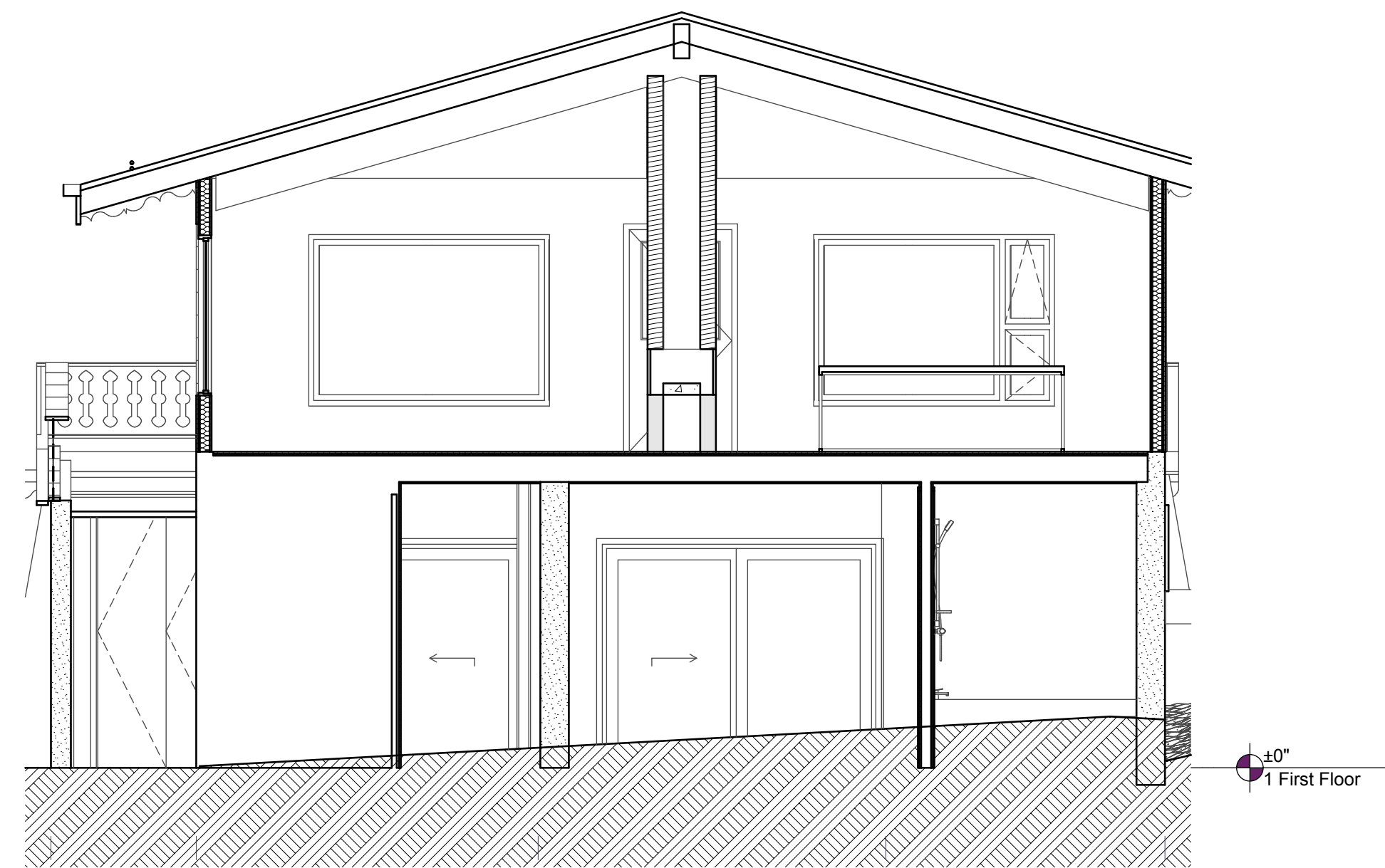
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Building Sections

A300

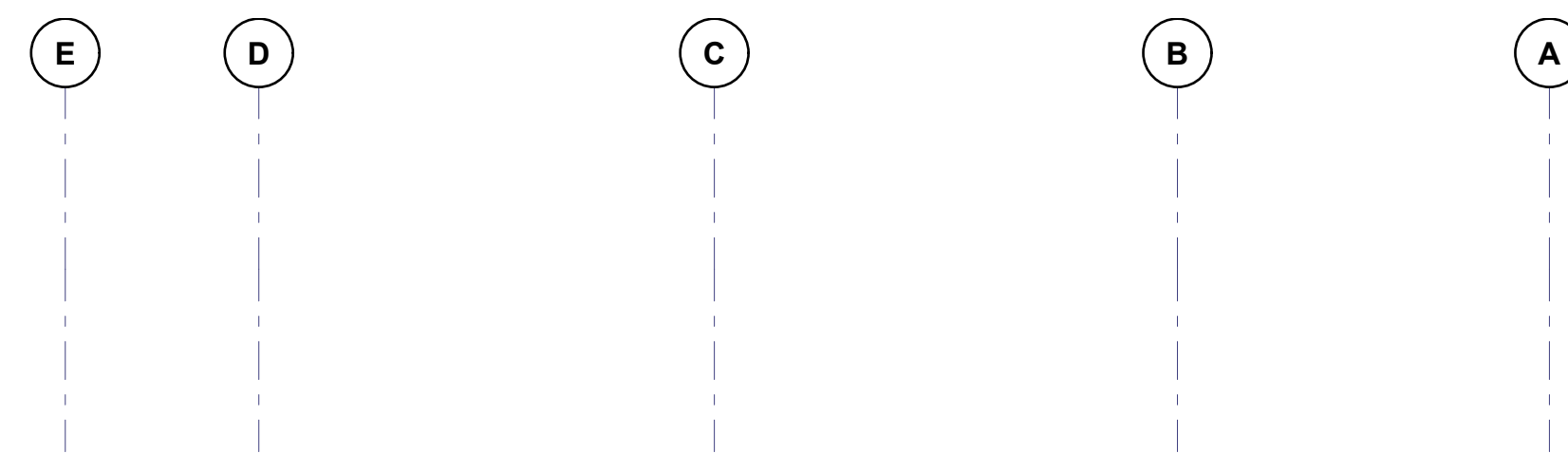
SHEET 57



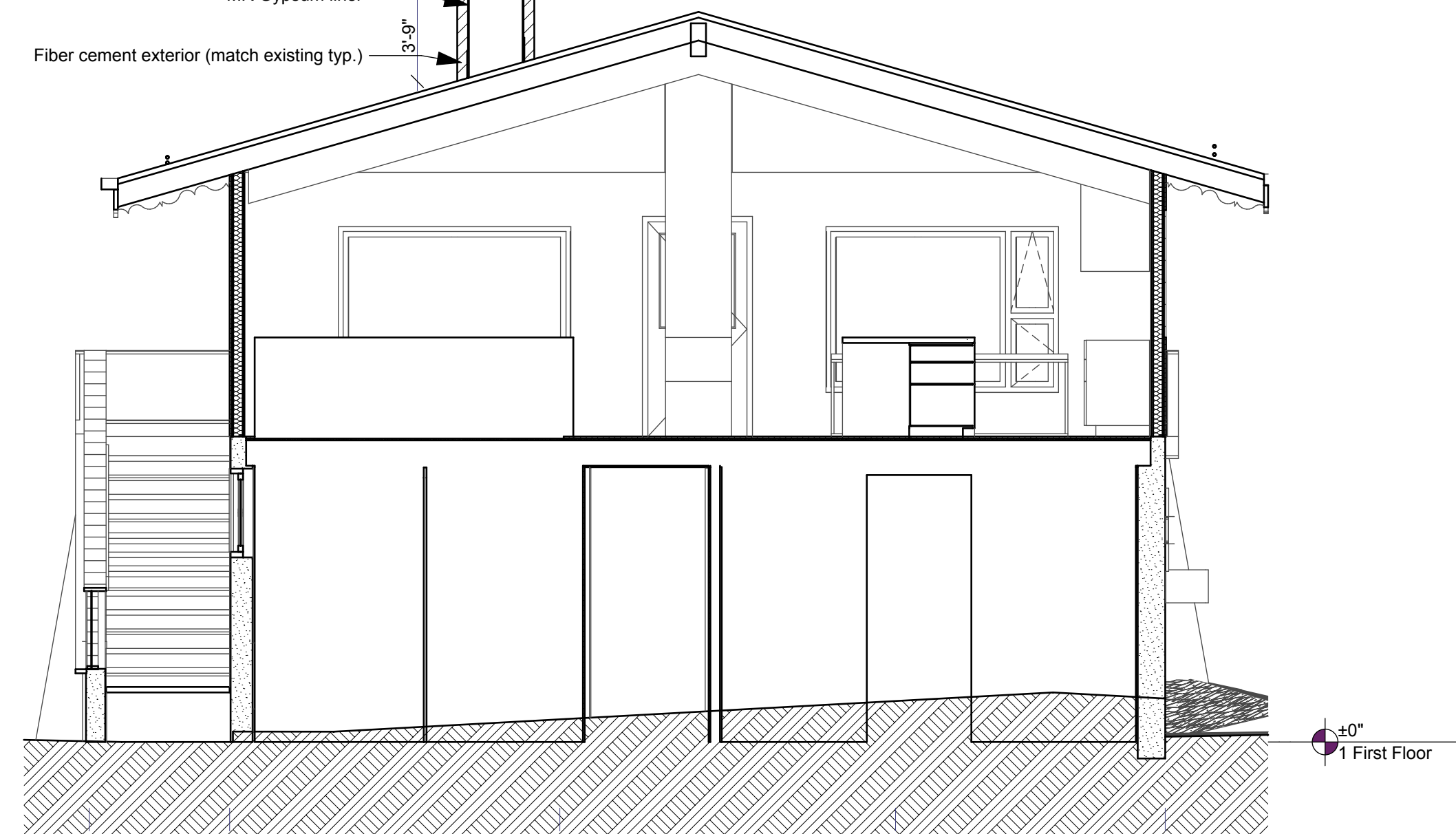
4
A300 transverse at Bedroom #2
SCALE: 1/4" = 1'-0"



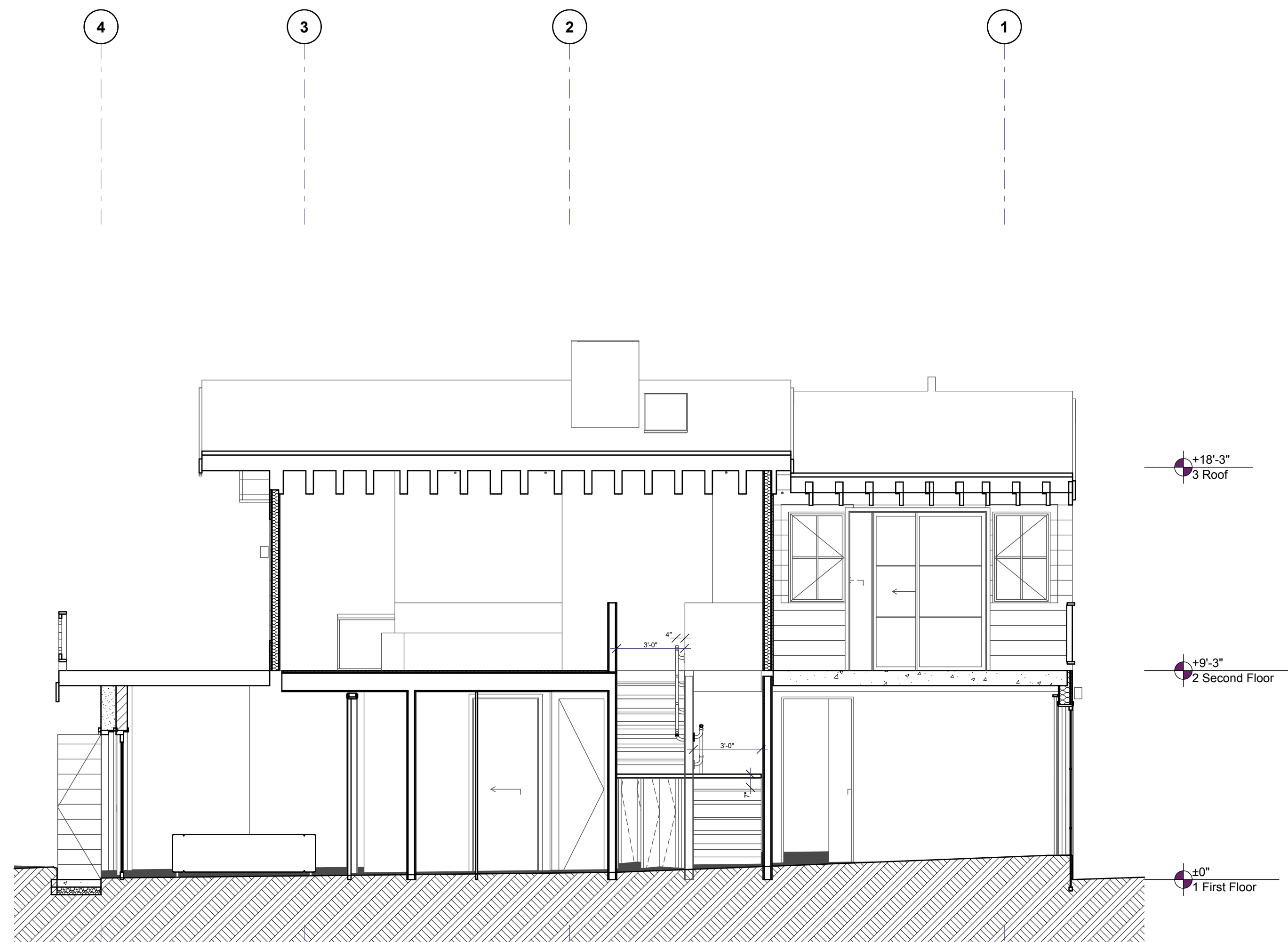
2
A300 longitudinal at Bedroom #2 and Garden Storage
SCALE: 1/4" = 1'-0"



New flu and cap as per mfg. (75' max), as per EPA
Chimney cap and flashing, seal penetration
Steel structural (box), 10 gauge
MR Gypsum liner
Fiber cement exterior (match existing typ.)



3
A300 transverse at chimney (new)
SCALE: 1/4" = 1'-0"



1
A300 Longitudinal at Stairs
SCALE: 1/4" = 1'-0"

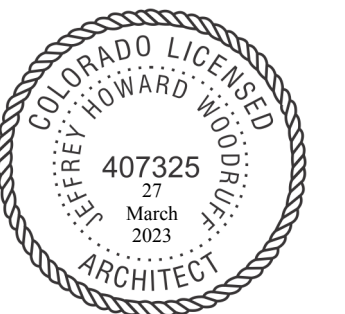
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Tarrab Mees

Account # R000145
Parcel ID # 273512464006

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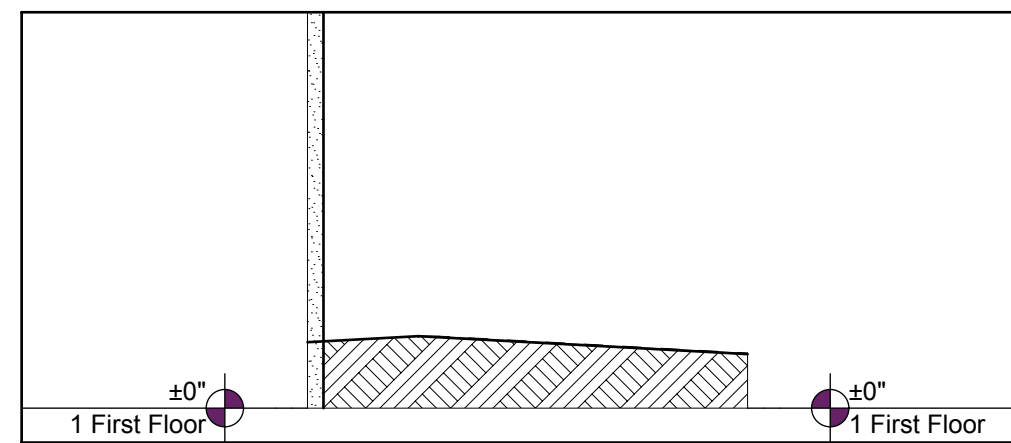
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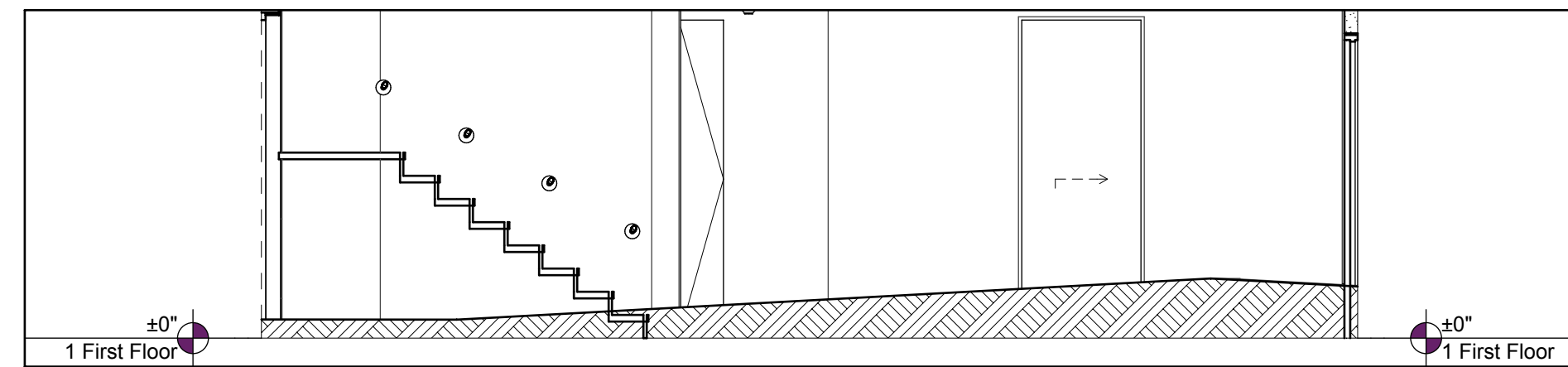
Interior Elevations

A400

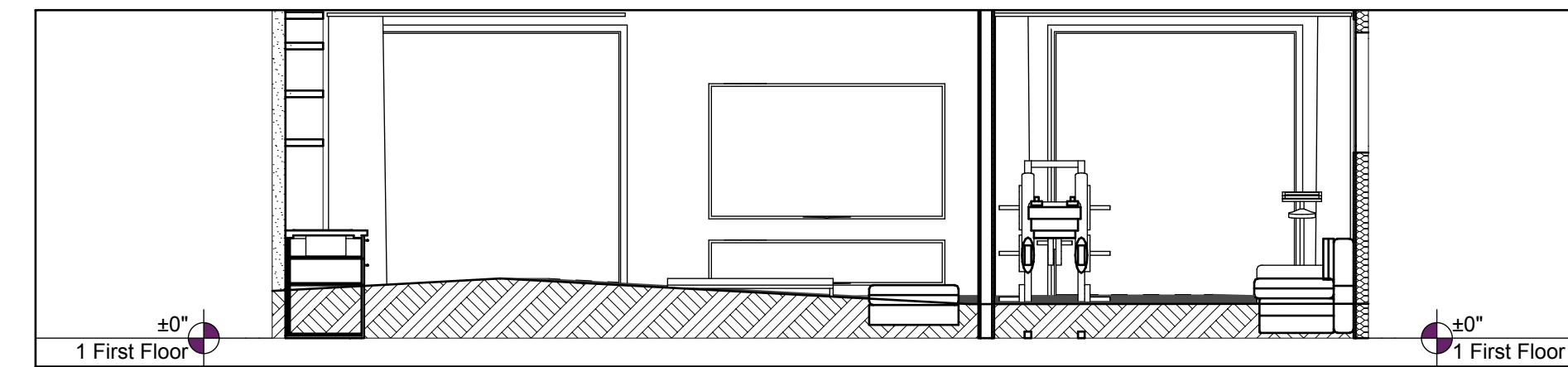
SHEET 58



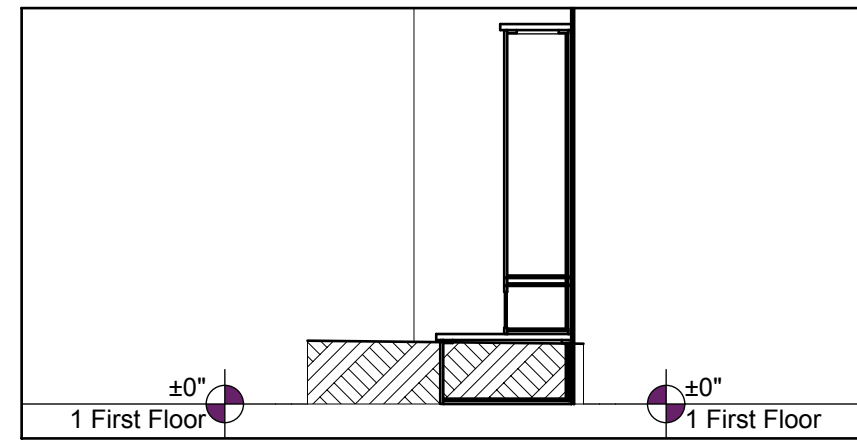
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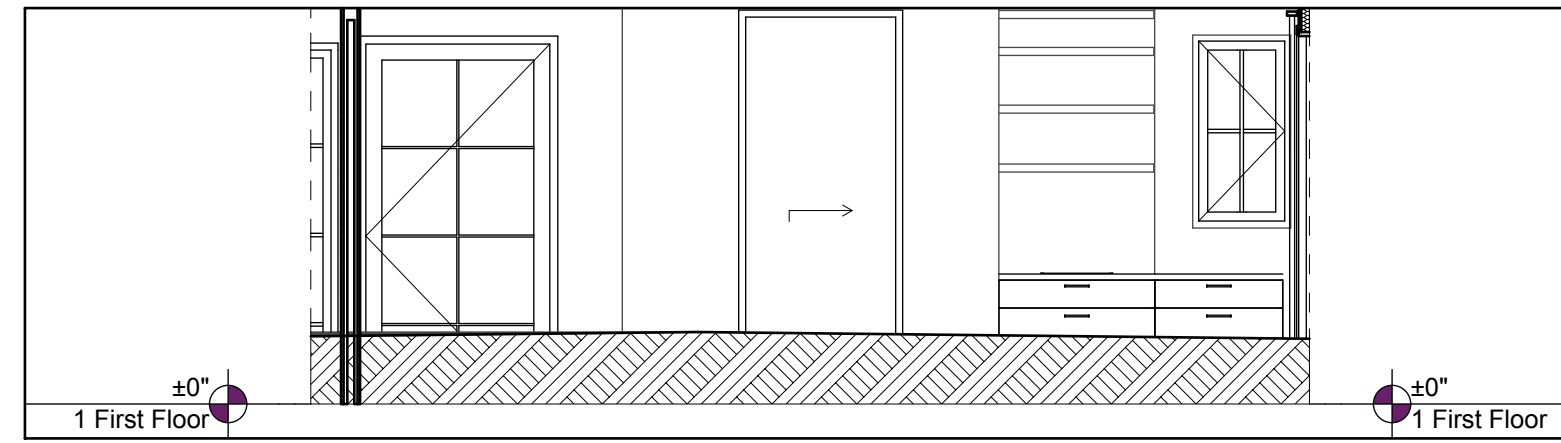
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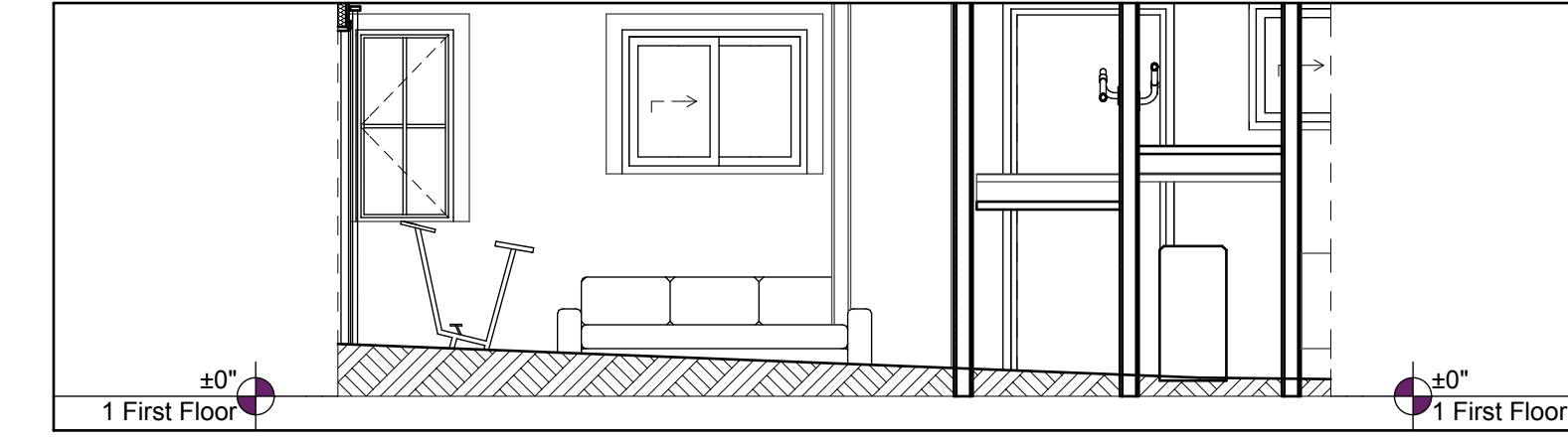
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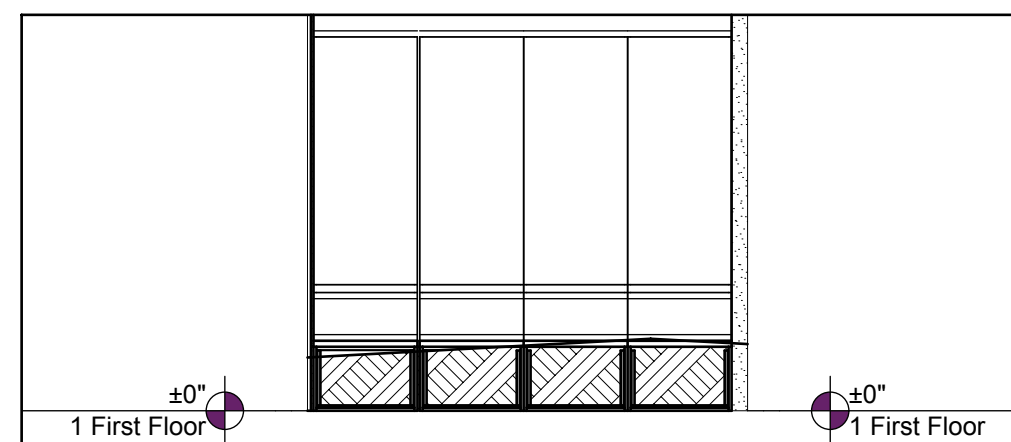
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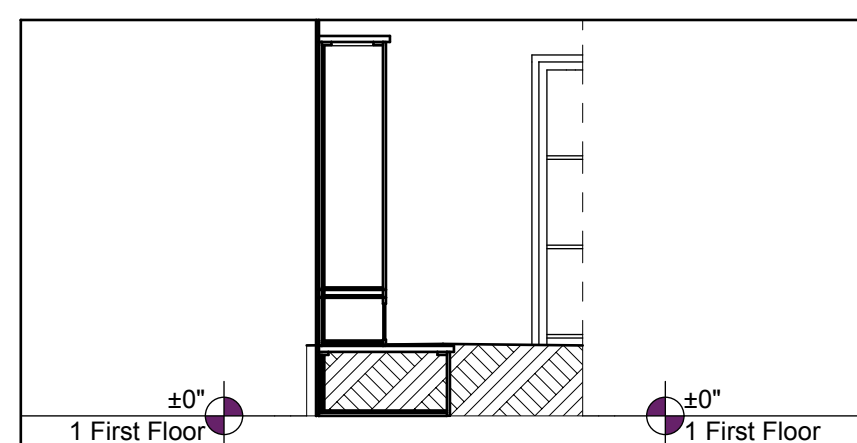
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A400 SCALE: 1/4" = 1'-0"



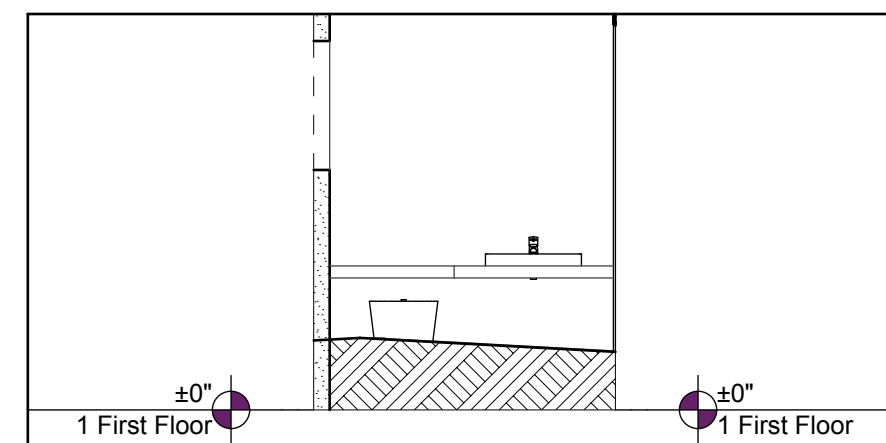
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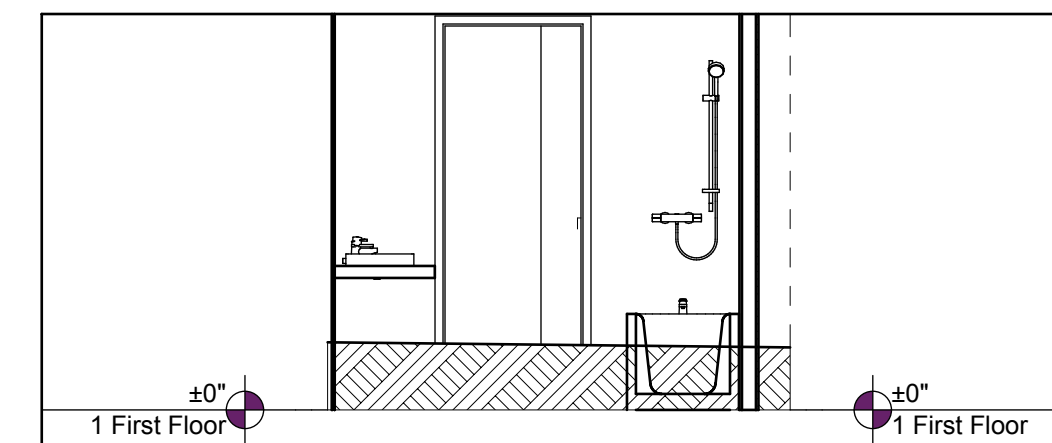
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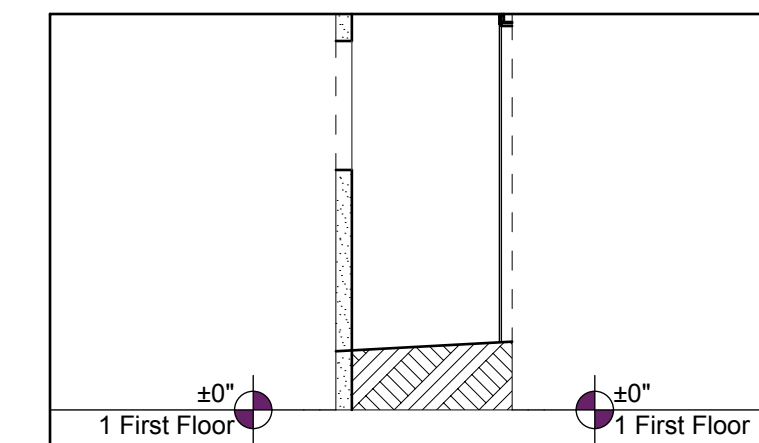
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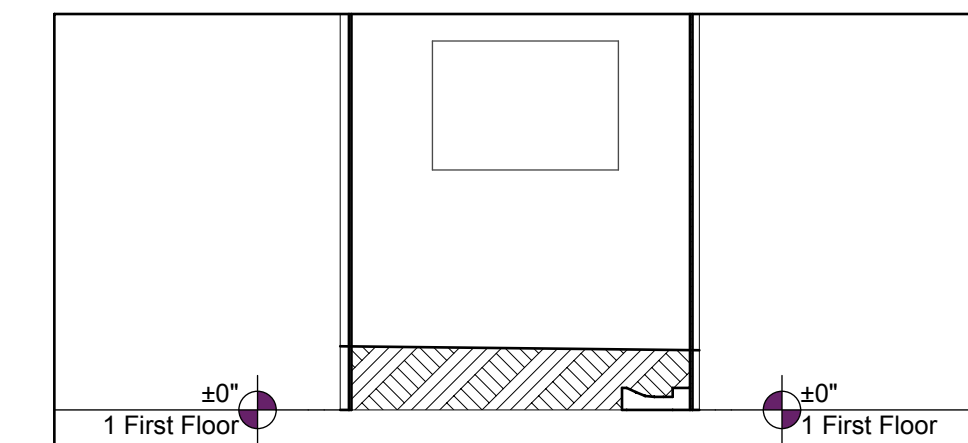
16 <bathe #2>
A400 SCALE: 1/4" = 1'-0"



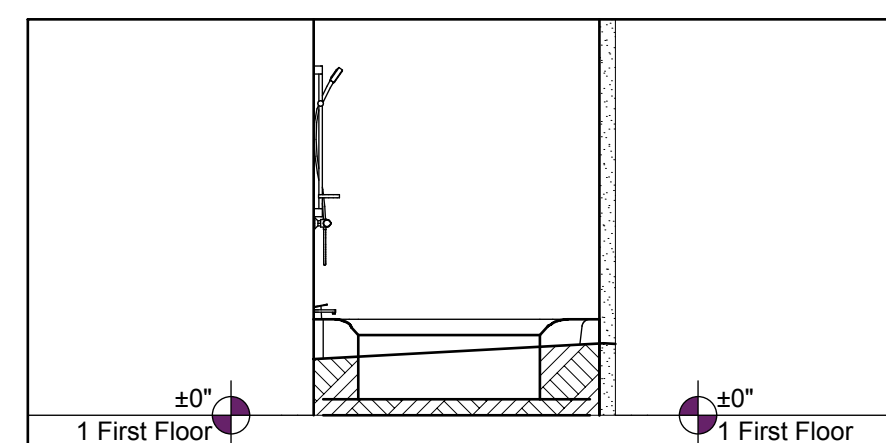
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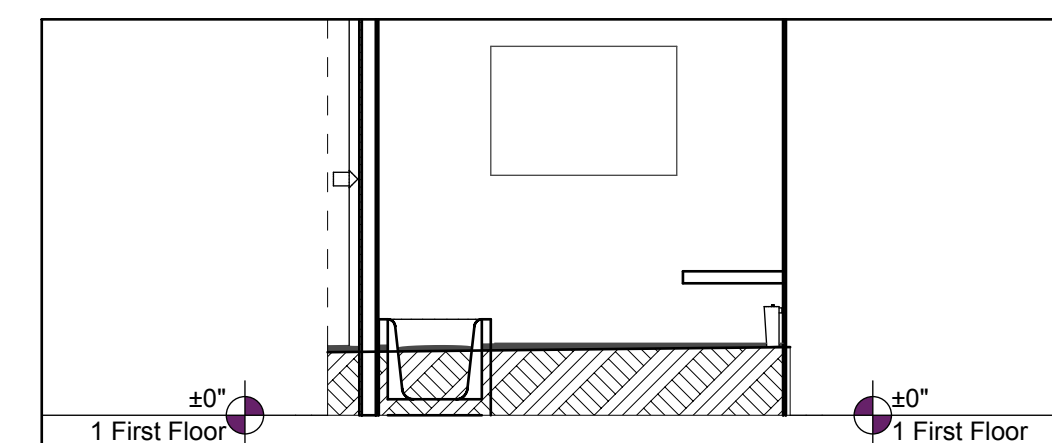
10 <1/2 Bathe>
A400 SCALE: 1/4" = 1'-0"



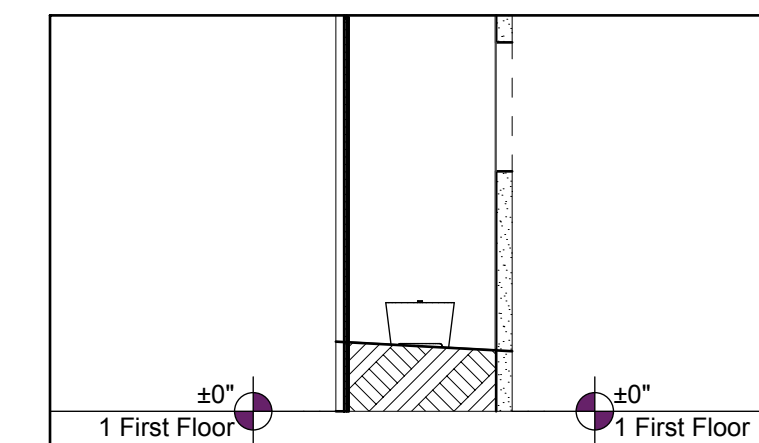
11 <1/2 Bathe>
A400 SCALE: 1/4" = 1'-0"



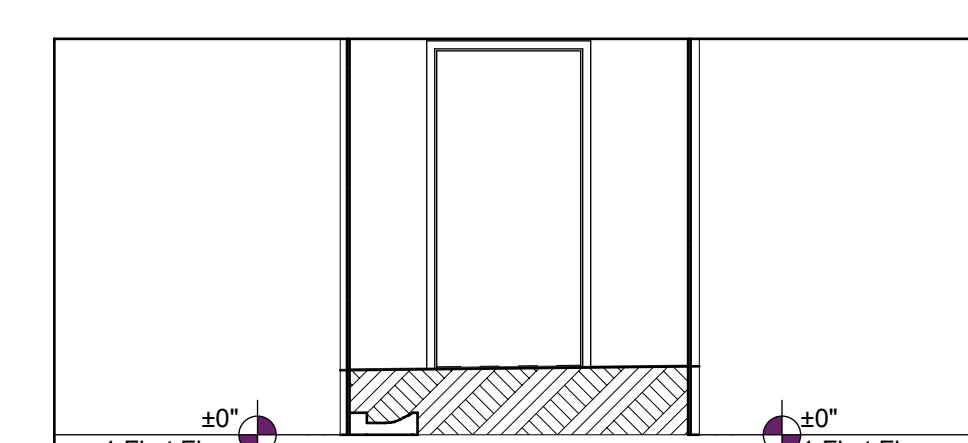
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A400 SCALE: 1/4" = 1'-0"



15 <bathe #2>
A400 SCALE: 1/4" = 1'-0"



9 <1/2 Bathe>
A400 SCALE: 1/4" = 1'-0"



12 <1/2 Bathe>
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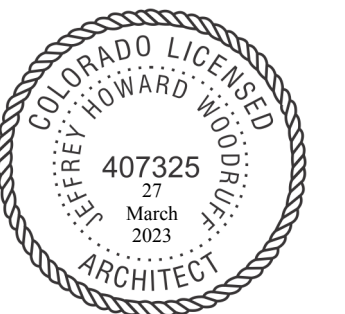
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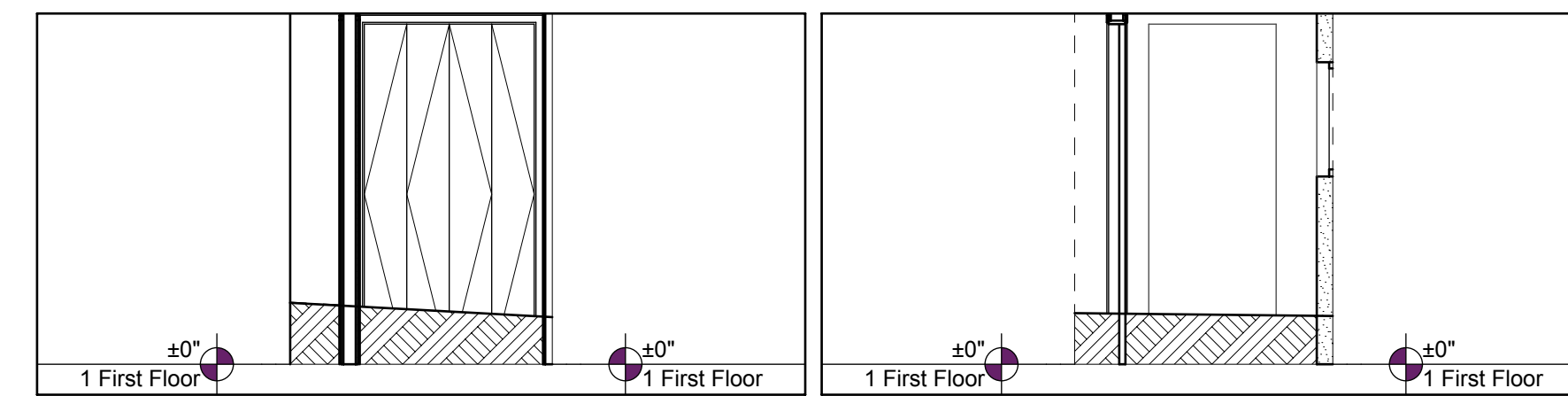
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Interior Elevations

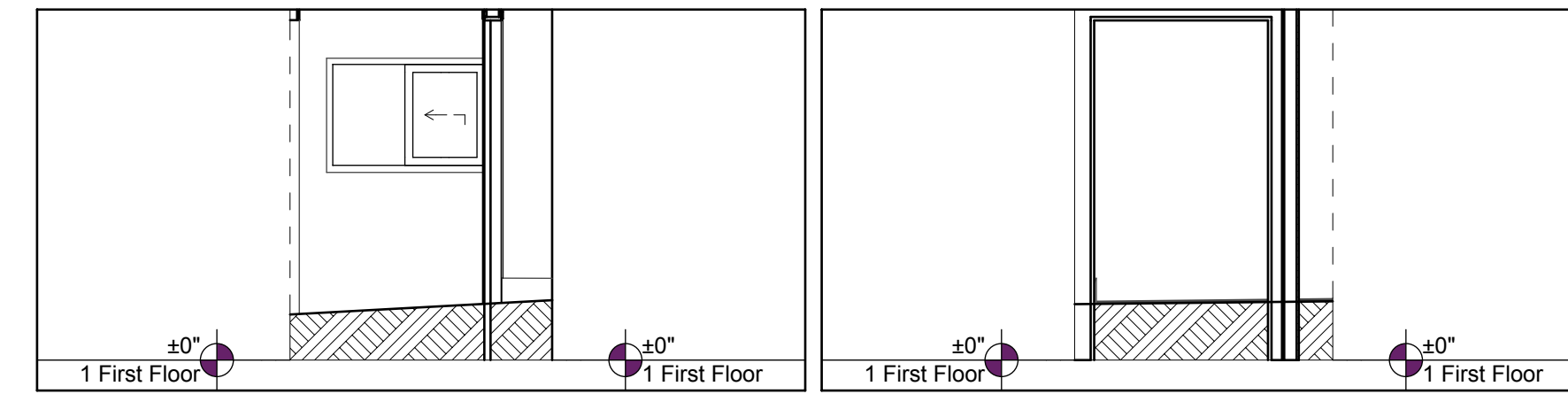
A401

SHEET 59



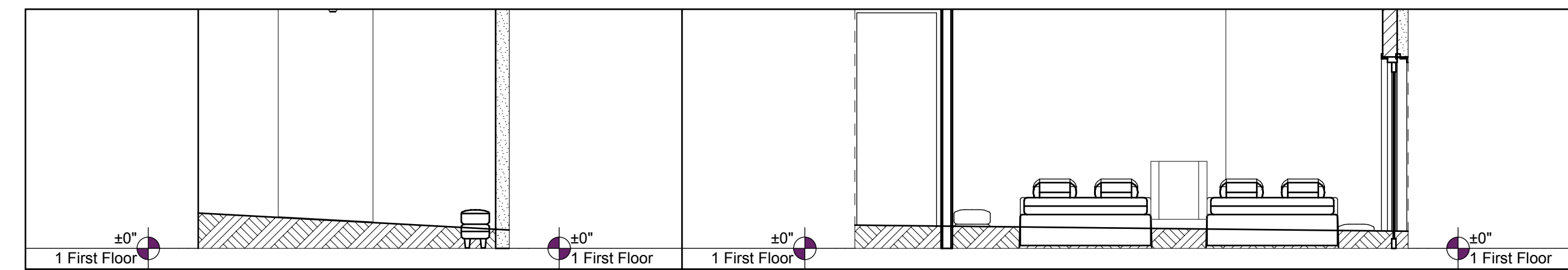
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A401 SCALE: 1/4" = 1'-0"

6 <closet #2>
A401 SCALE: 1/4" = 1'-0"



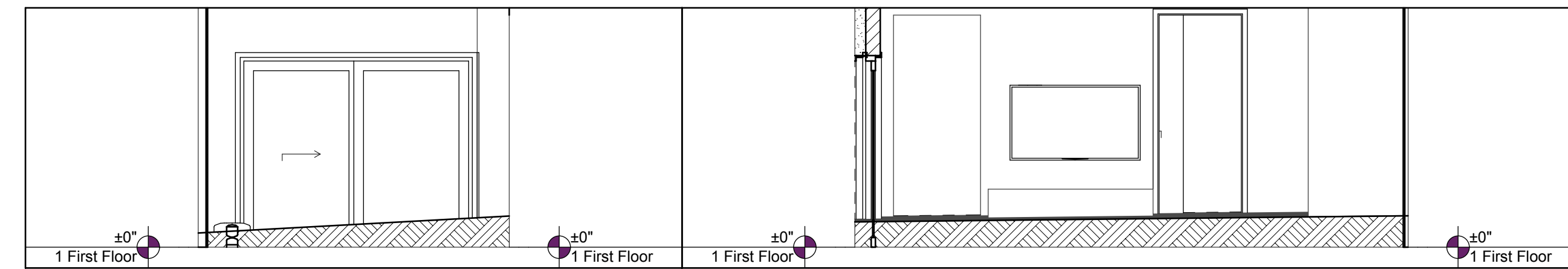
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A401 SCALE: 1/4" = 1'-0"

8 <closet #2>
A401 SCALE: 1/4" = 1'-0"



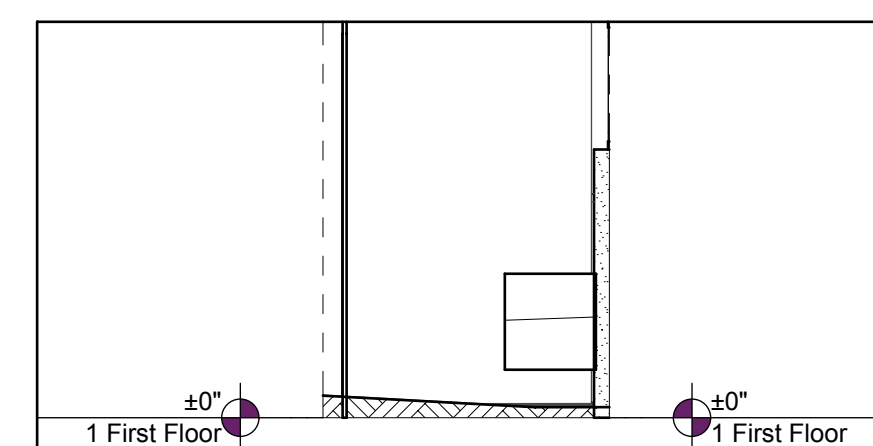
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A401 SCALE: 1/4" = 1'-0"

3 <bedroom #2>
A401 SCALE: 1/4" = 1'-0"

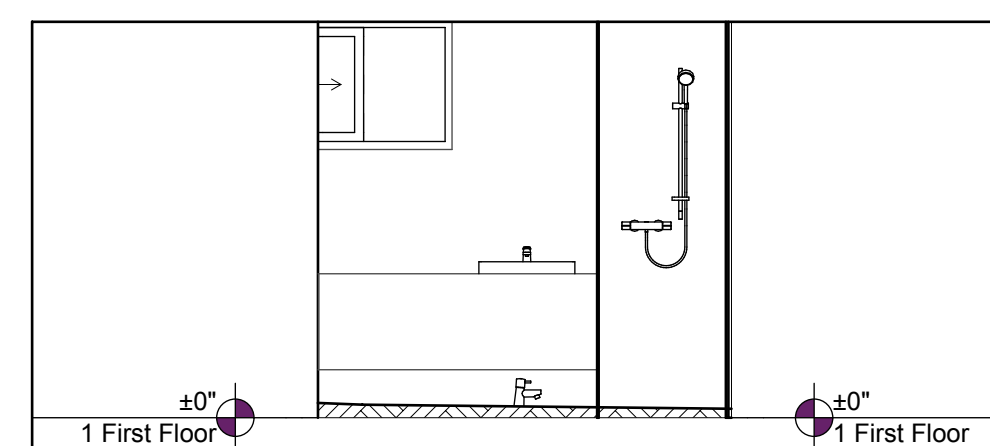


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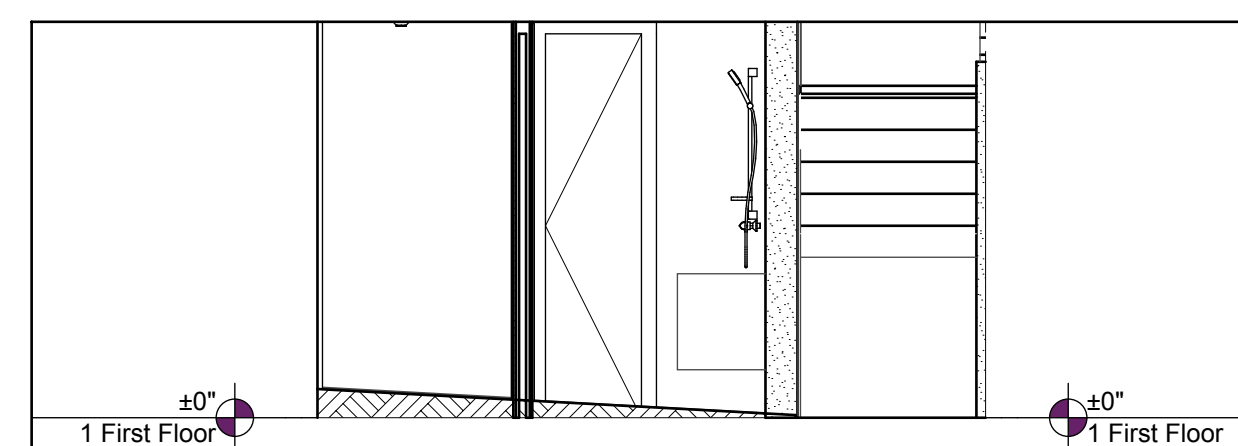
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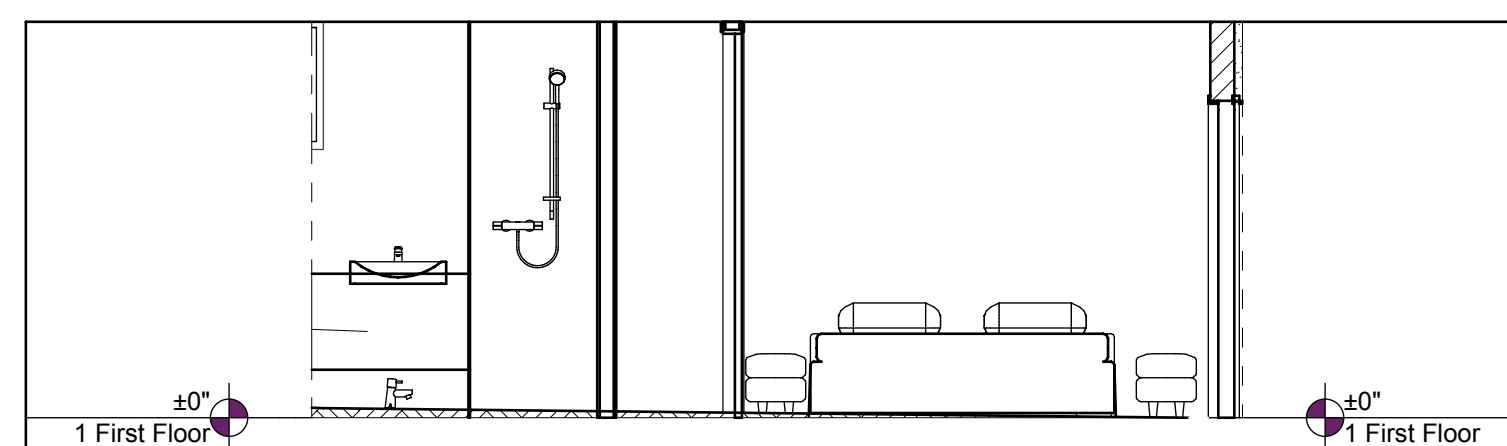
13 <bathe #3>
A401 SCALE: 1/4" = 1'-0"



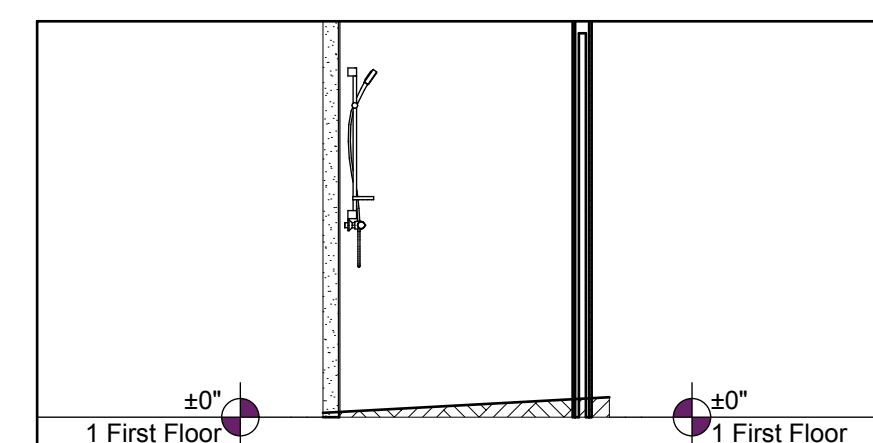
16 <bathe #3>
A401 SCALE: 1/4" = 1'-0"



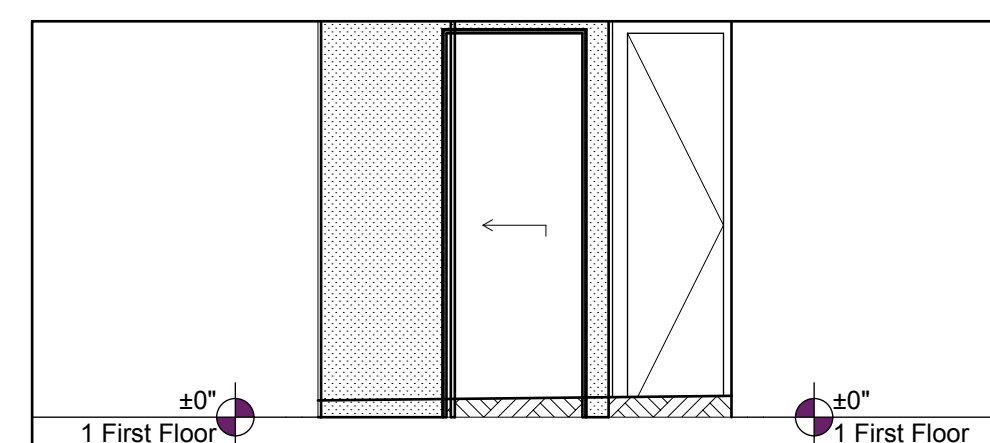
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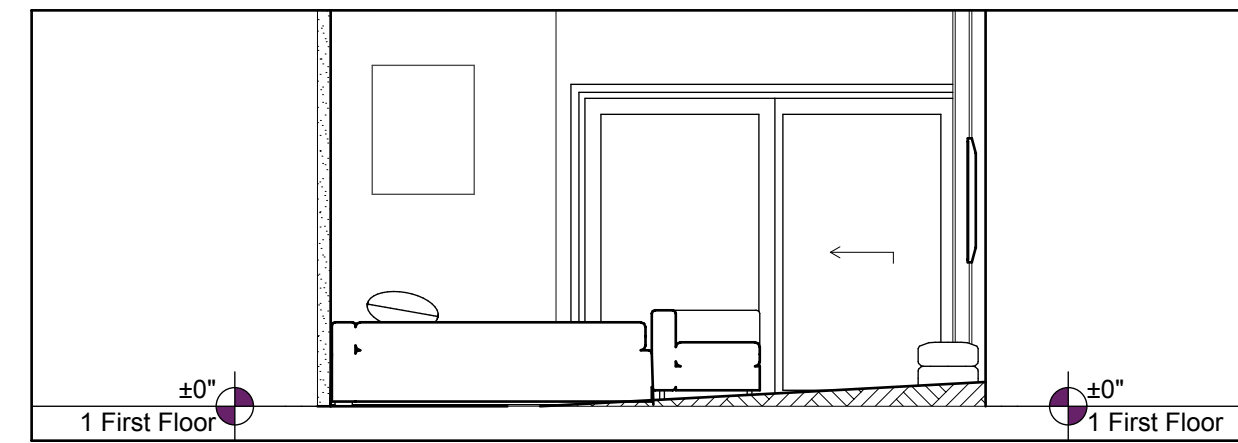
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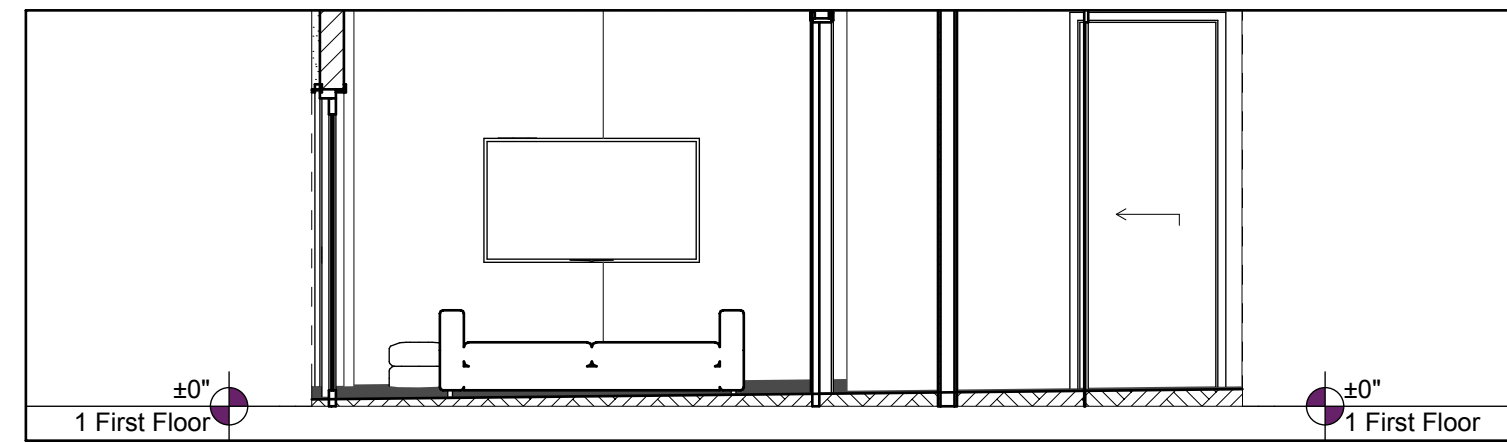
15 <bathe #3>
A401 SCALE: 1/4" = 1'-0"



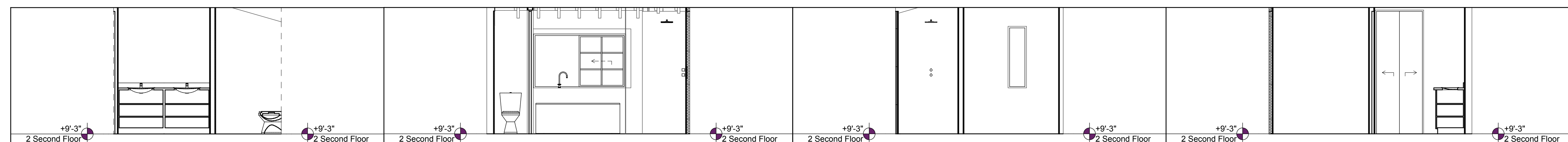
14 <bathe #3>
A401 SCALE: 1/4" = 1'-0"



12 <bedroom #3>
A401 SCALE: 1/4" = 1'-0"



11 <bedroom #3>
A401 SCALE: 1/4" = 1'-0"



19 <bathe #1>
A401 SCALE: 1/4" = 1'-0"

20 <bathe #1>
A401 SCALE: 1/4" = 1'-0"

17 <bathe #1>
A401 SCALE: 1/4" = 1'-0"

18 <bathe #1>
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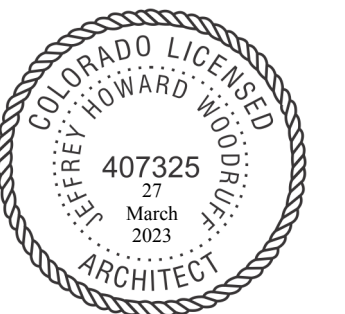
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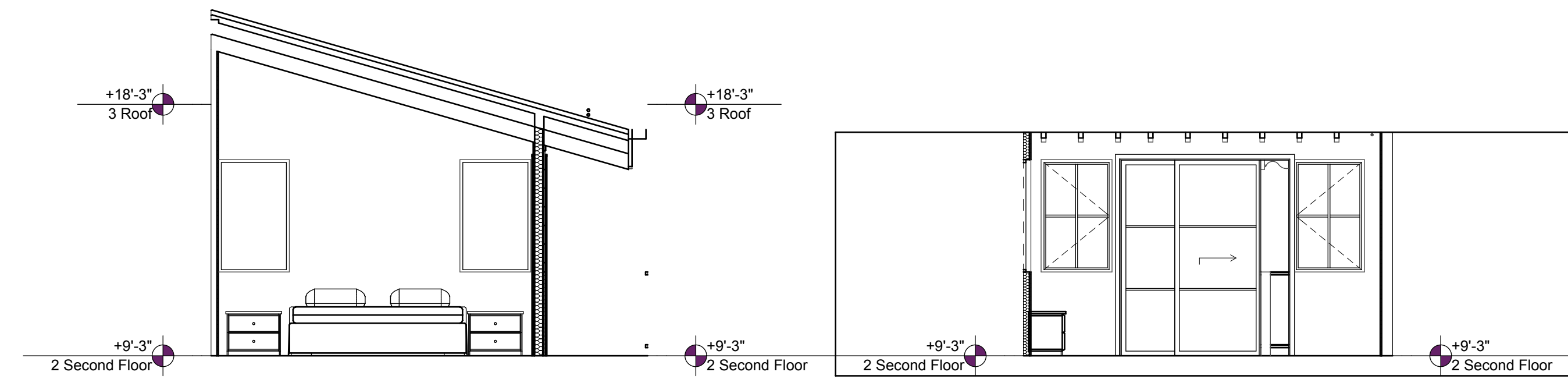
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Interior Elevations

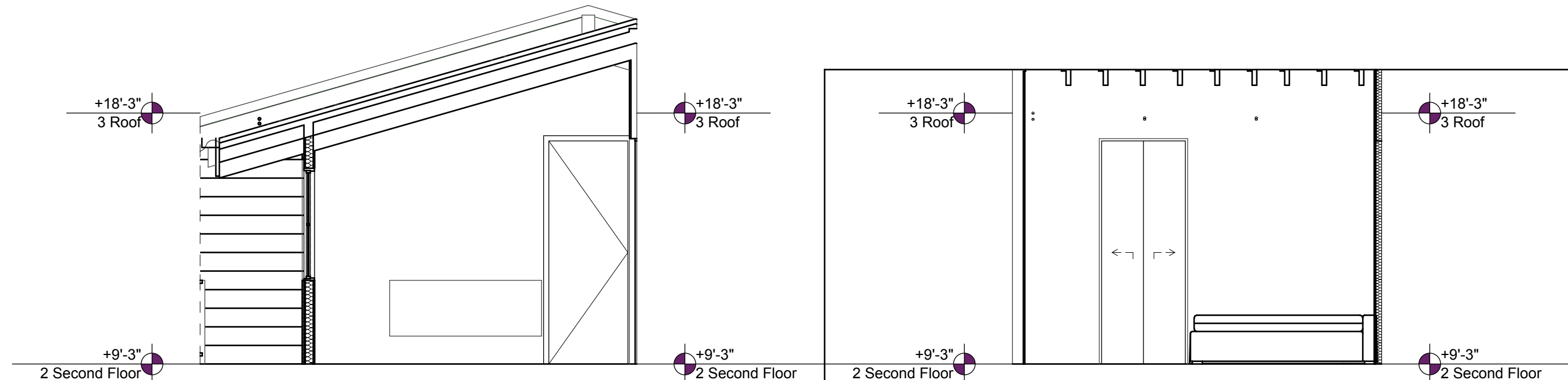
A402

SHEET 60



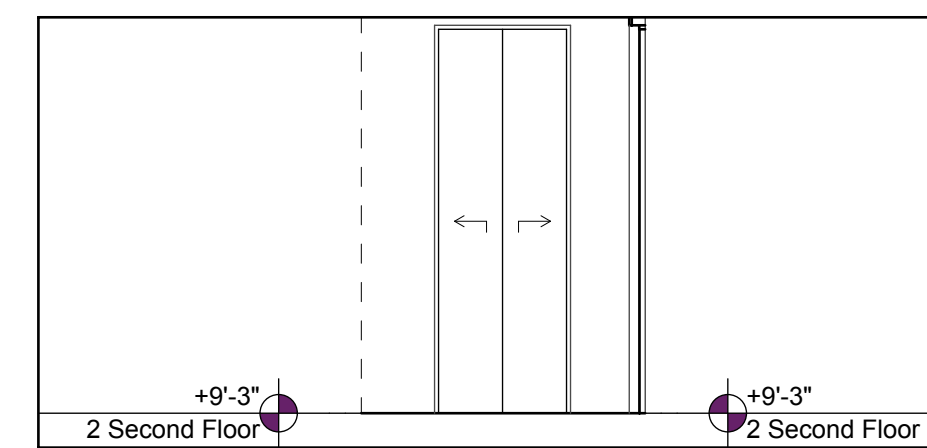
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A402 SCALE: 1/4" = 1'-0"

8 <bedroom #1>
A402 SCALE: 1/4" = 1'-0"

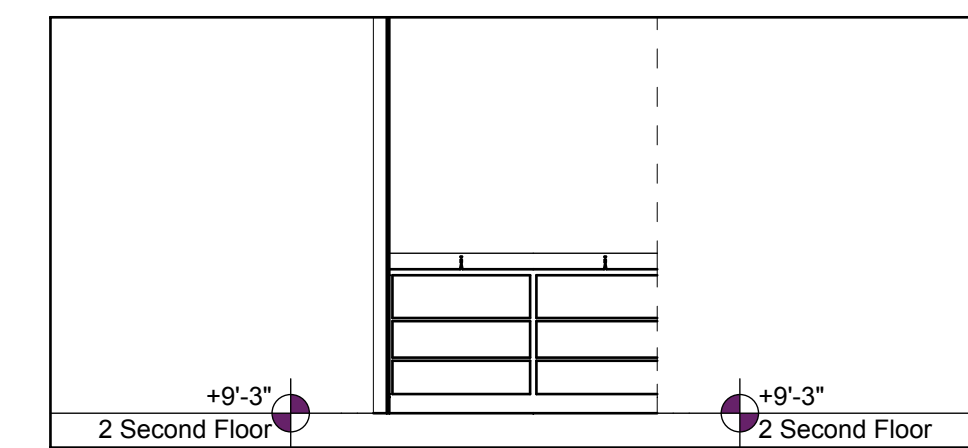


6 <bedroom #1>
A402 SCALE: 1/4" = 1'-0"

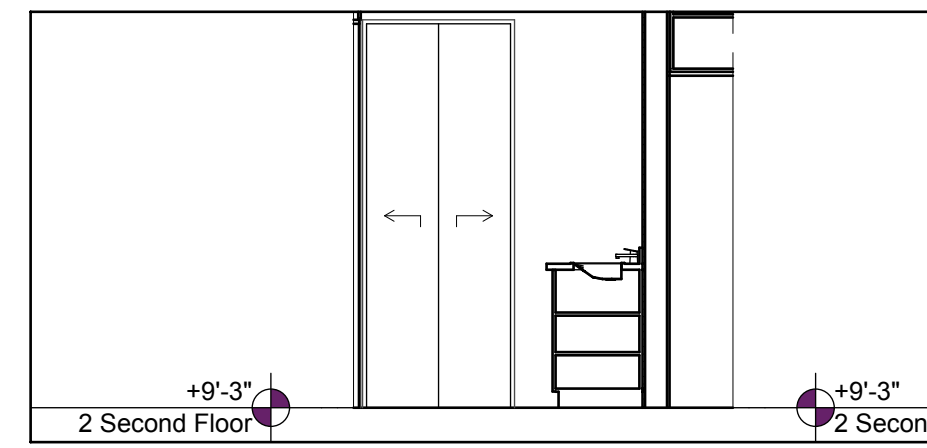
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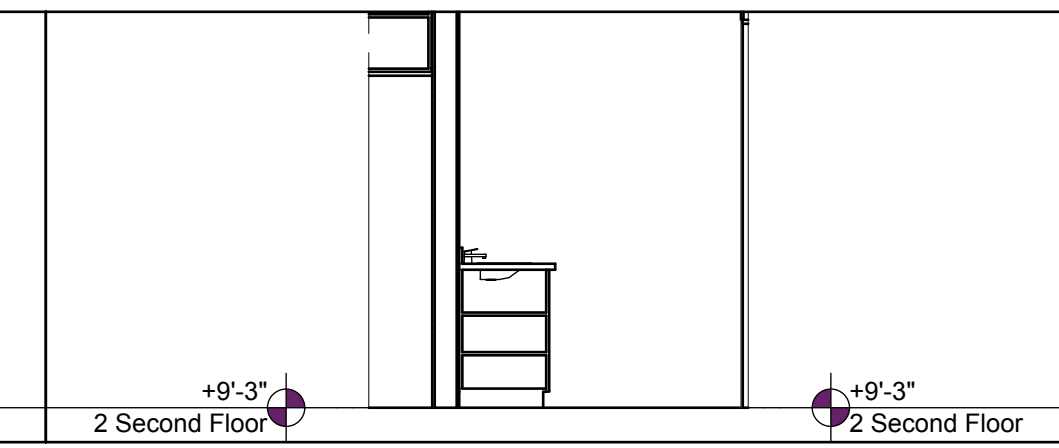
1 <bedroom 1 closet>
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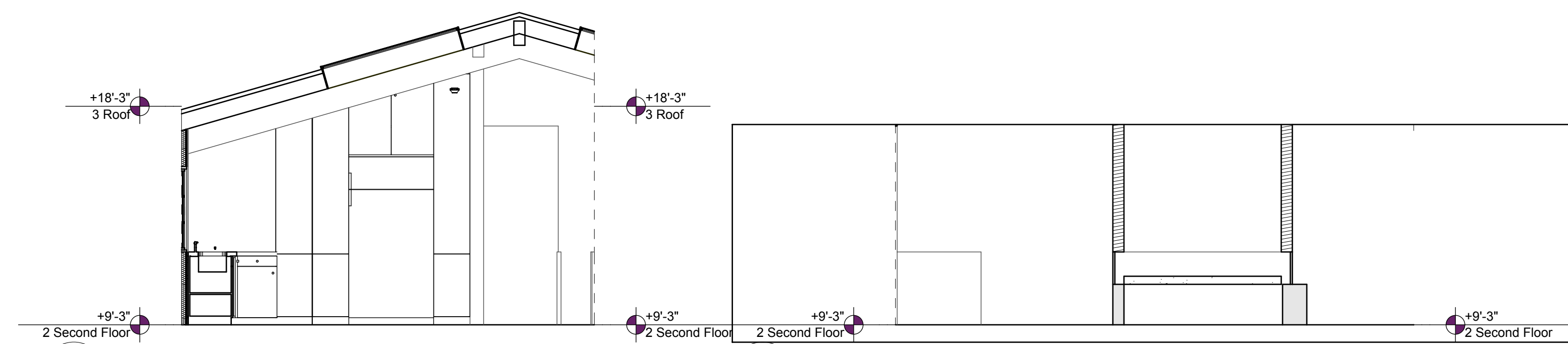
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A402 SCALE: 1/4" = 1'-0"



3 <bedroom 1 closet>
A402 SCALE: 1/4" = 1'-0"

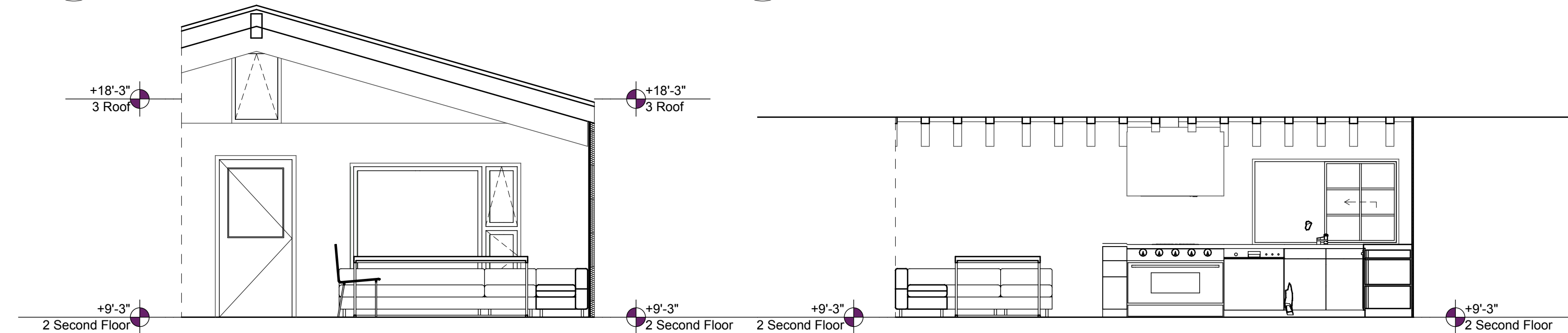


4 <bedroom 1 closet>
A402 SCALE: 1/4" = 1'-0"



10 <kitchen>
A402 SCALE: 1/4" = 1'-0"

12 <kitchen>
A402 SCALE: 1/4" = 1'-0"



11 <kitchen>
A402 SCALE: 1/4" = 1'-0"

9 <kitchen>
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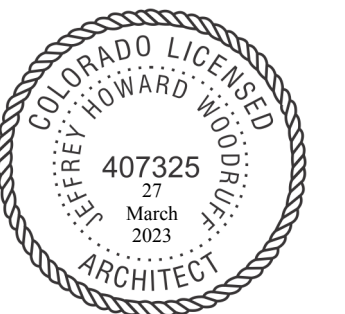
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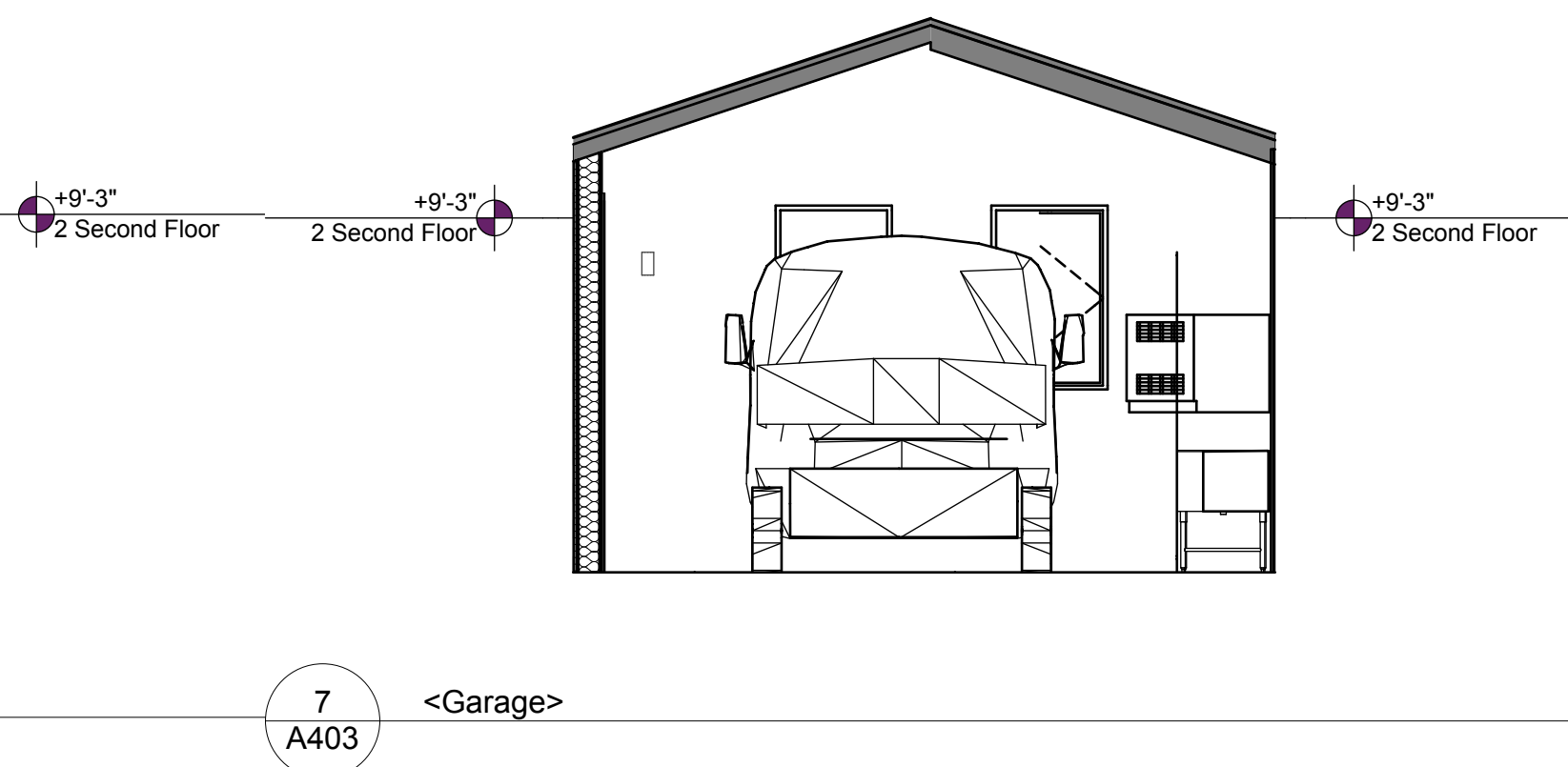
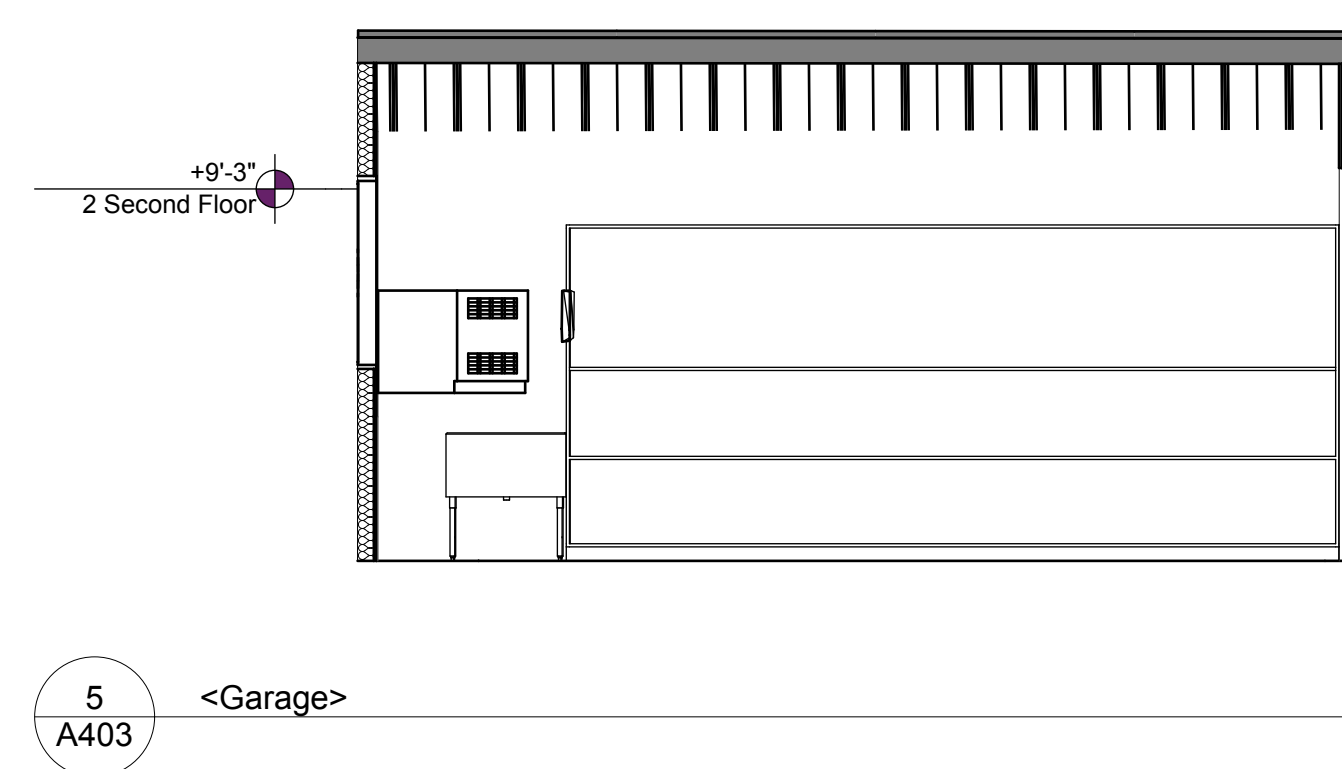
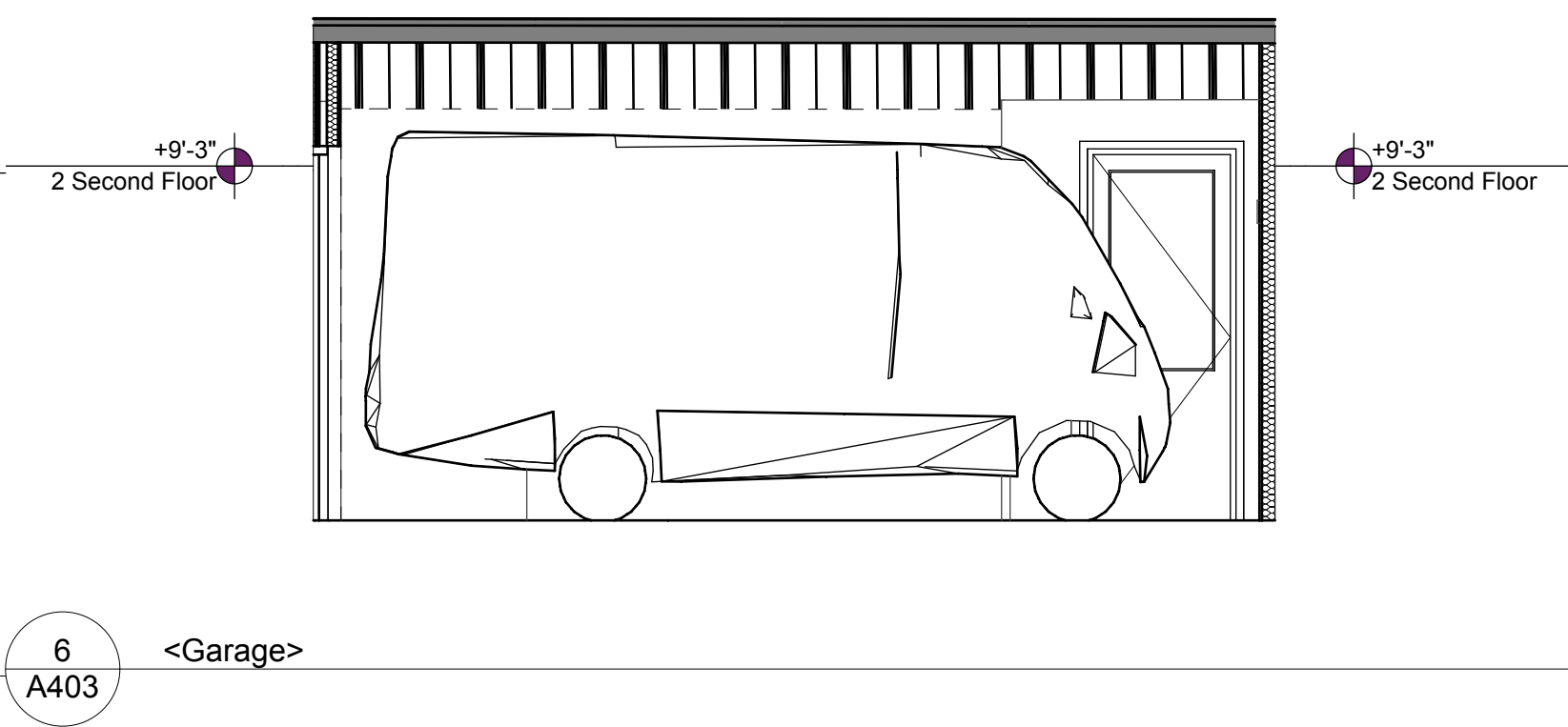
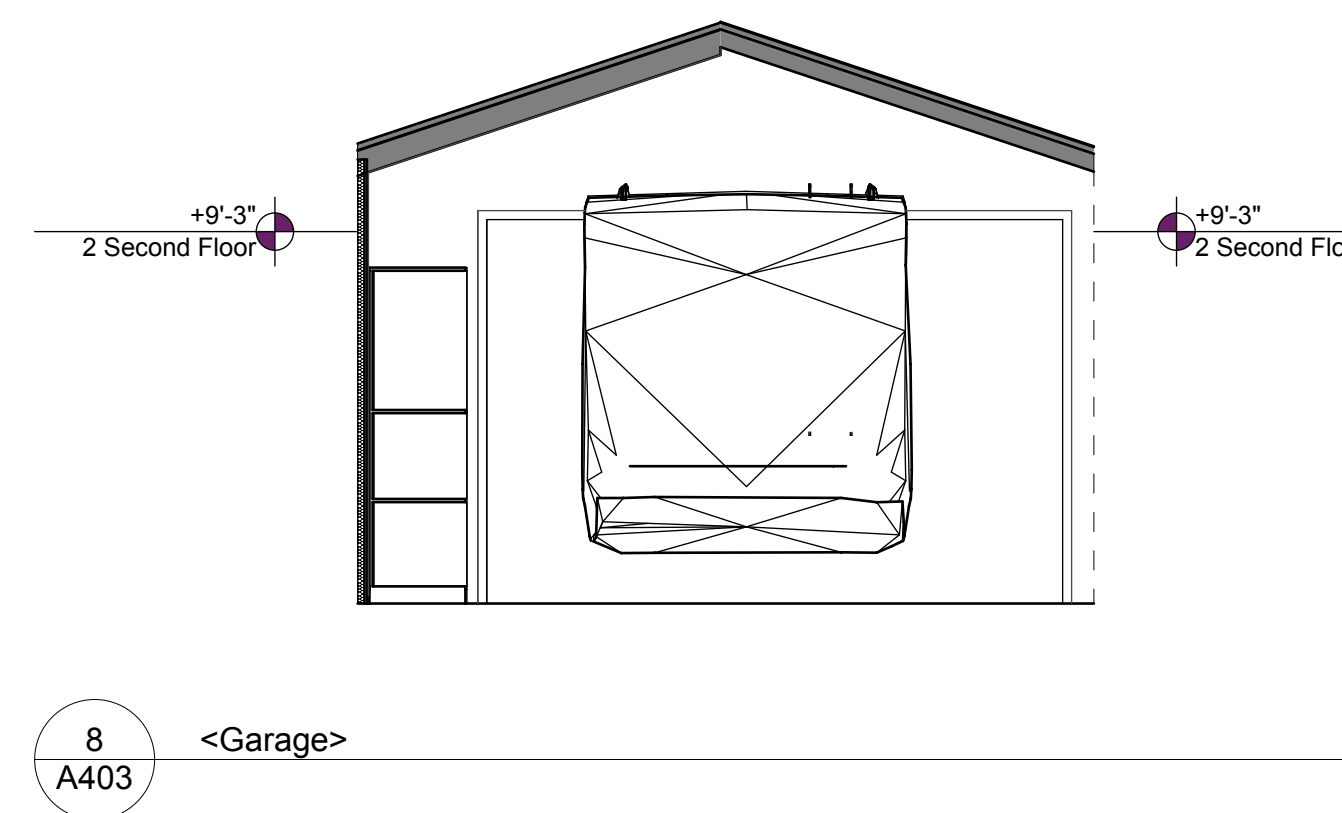
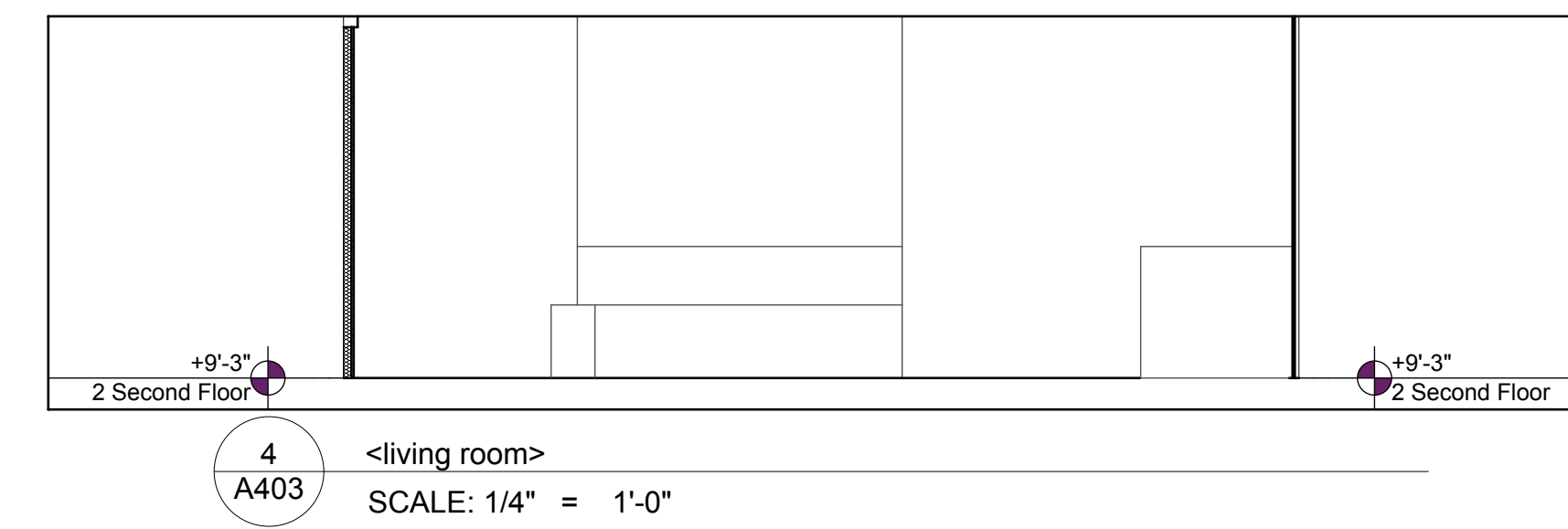
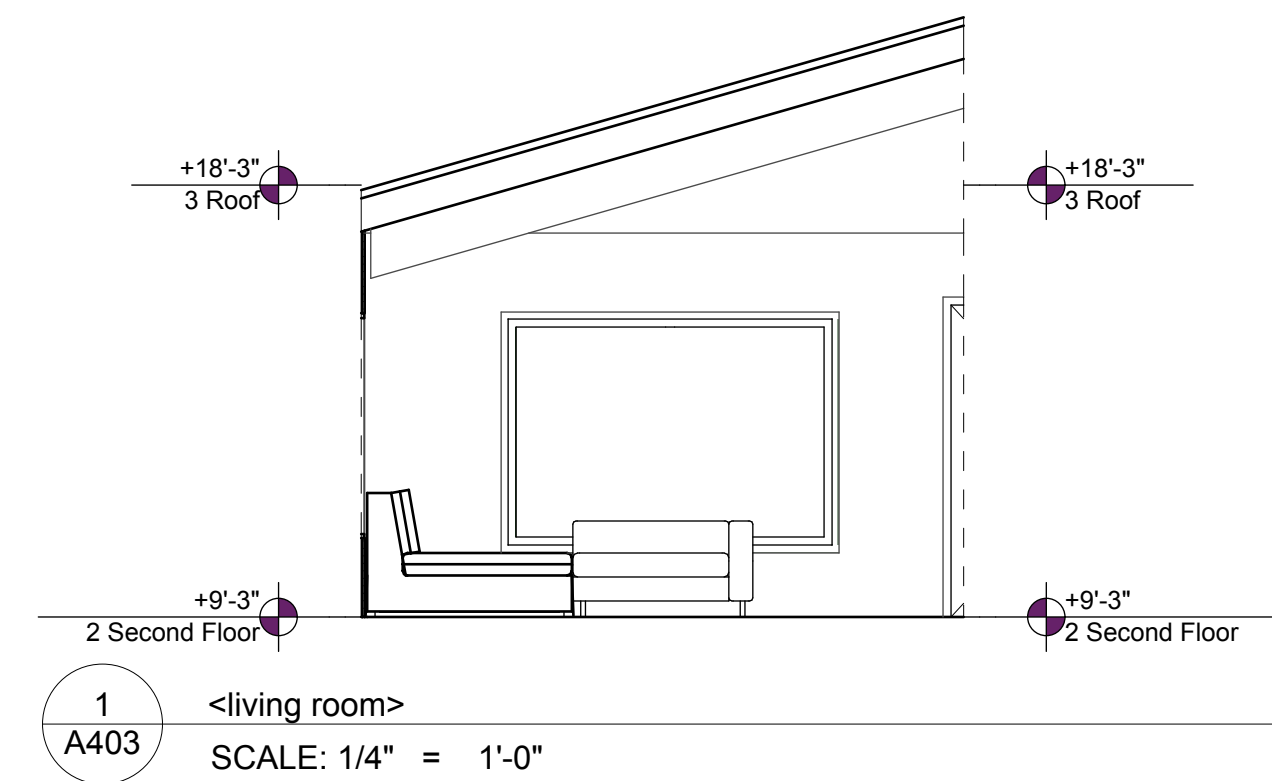
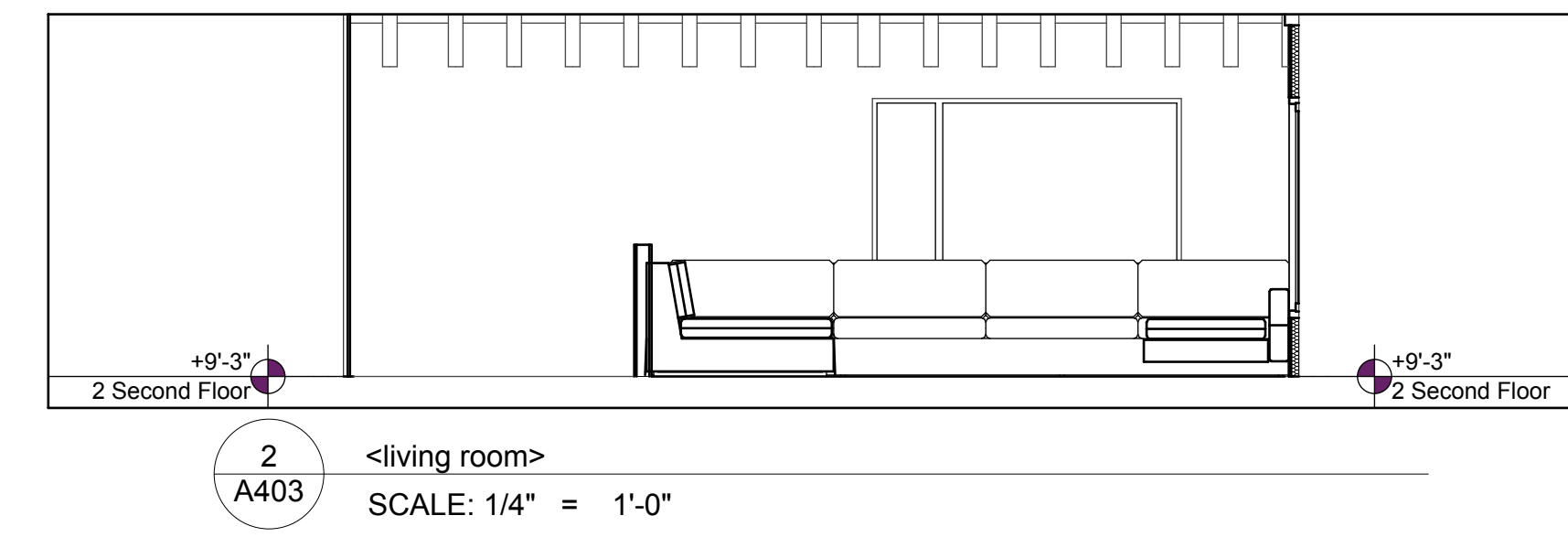
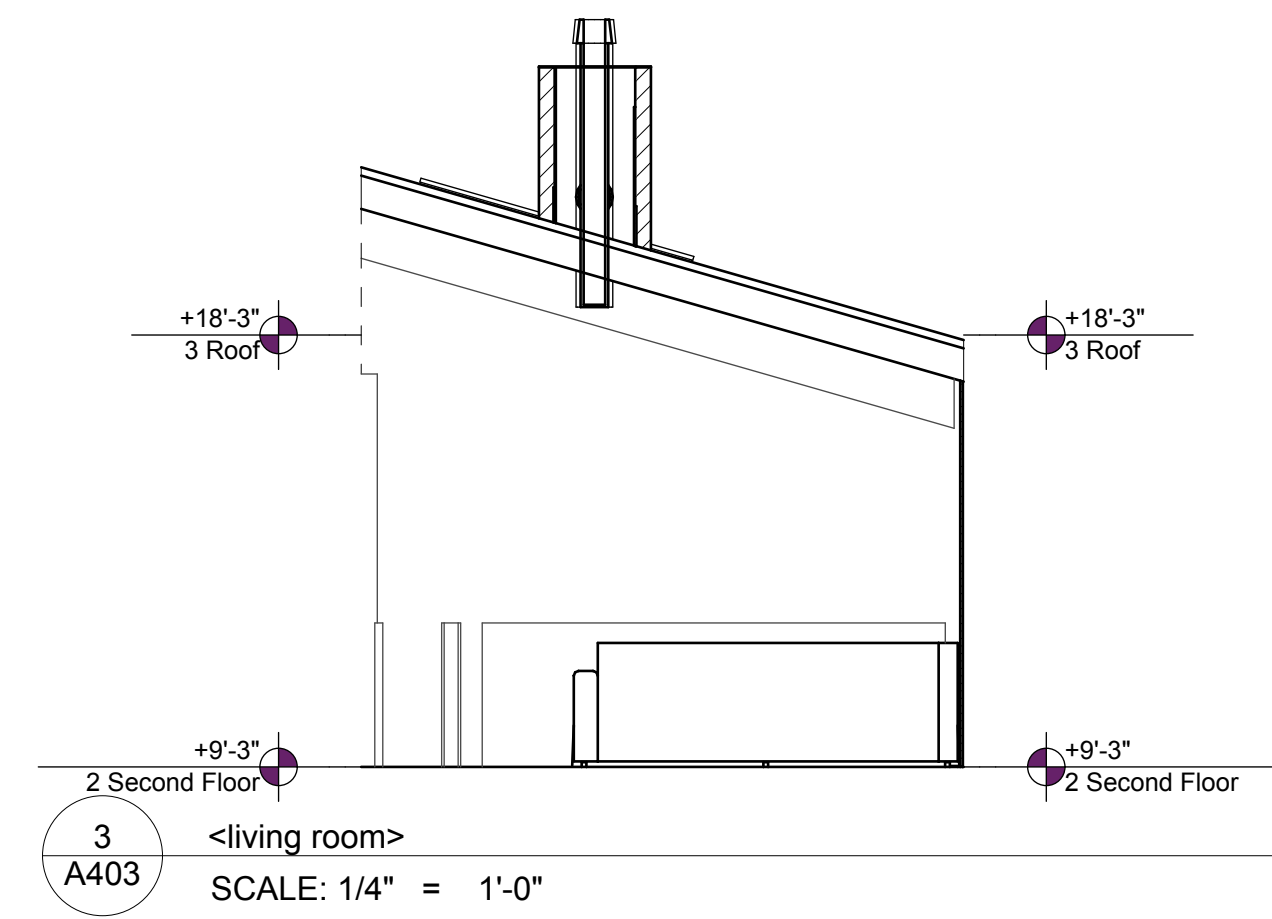
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Interior Elevations

A403

SHEET 61



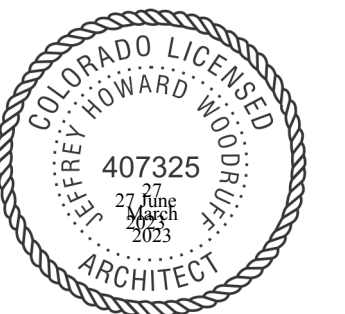
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SHEET TITLE

Schedules

A500

SHEET 62

WINDOW LEGEND

| WINDOW TYPE | Casement | Casement | Casement | Casement | Casement | Fixed | Fixed | Fixed | Fixed | Fixed | Fixed | Fixed | Fixed |
|-------------|---------------------|---------------------|---------------------|-----------------------------|-----------------------------|---------------------|-------------|---------------------|-------------|-------------|--------------|-------------|-------------|
| VIEW | | | | | | | | | | | | | |
| DIMENSIONS | 1'-2"×4'-0" | 2'-0"×4'-0" | 2'-6"×4'-0" | 7'-0"×4'-8" | 7'-0"×5'-0" | 1'-7"×8'-0" | 2'-0"×2'-6" | 2'-0"×4'-0" | 2'-1"×2'-8" | 3'-0"×4'-6" | 3'-10"×2'-8" | 3'-9"×3'-0" | 3'-9"×3'-2" |
| NOTES | NEW Loewen, Al Clad | NEW Loewen, Al Clad | NEW Loewen, Al Clad | Existing: installing dou... | Existing: installing dou... | NEW Loewen, Al Clad | Attic Vents | NEW Loewen, Al Clad | Existing | | Existing | | Existing |

1 Window Legend
A500 SCALE: 1' = 1'-0"

| Fixed | Fixed | Fixed | Fixed | Sliding | Sliding | Sliding | Undefined | Undefined | Undefined |
|-------------|-------------|-------------|-----------------------------|-----------------------------|---------------------|-----------------------------|------------------------|-----------------------------|-------------------------|
| | | | | | | | | | |
| 6'-0"×3'-6" | 7'-0"×4'-8" | 7'-0"×5'-0" | 7'-0"×5'-0" | 3'-10"×2'-8" | 3'-10"×3'-0" | 6'-0"×3'-6" | 2'-0"×3'-0" | 2'-1"×2'-8" | 2'-6"×4'-0" |
| Existing | Existing | Existing | Existing: installing dou... | Existing: installing dou... | NEW Loewen, Al Clad | Existing: installing dou... | NEW Loewen, Awning ... | Existing: wall nook, not... | NEW Loewen, Al Clad,... |

3 Window Legend
A500 SCALE: 1' = 1'-0"

WINDOW SCHEDULE

| WINDOW NUMBER | ROOM NAME | WINDOW SIZE | | TYPE | HEAD DETAIL | JAMB DETAIL | SILL DETAIL | ACCESORIES | U-VALUE | TEMPERED | REMARKS |
|---------------|-----------|---------------|----------------|-----------|-------------|-------------|-------------|------------|---------|-------------------------------------|--|
| | | NOMINAL WIDTH | NOMINAL HEIGHT | | | | | | | | |
| Nook | | 2'-1" | 2'-8" | Undefined | A600 | A600 | A600 | Nook | N/A | <input type="checkbox"/> | Existing: wall nook, not a window |
| W 2E | | 3'-10" | 2'-8" | Sliding | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 3E | | 2'-6" | 4'-0" | Casement | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W 4E | | 2'-6" | 4'-0" | Casement | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W 4S | | 3'-10" | 2'-8" | Sliding | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 5E | | 3'-10" | 3'-0" | Sliding | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W 5W | | 3'-10" | 2'-8" | Sliding | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 6E | | 2'-0" | 4'-0" | Casement | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W 6W | | 1'-7" | 8'-0" | Fixed | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W 7N | | 1'-2" | 4'-0" | Casement | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W 7W | | 3'-10" | 2'-8" | Sliding | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 8N | | 2'-6" | 4'-0" | Undefined | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad, Awning |
| W 8W | | 2'-0" | 4'-0" | Fixed | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W 9N | | 2'-6" | 4'-0" | Undefined | A600 | A600 | A600 | E272/189 | .25 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad, Awning |
| W 11E | | 7'-0" | 4'-8" | Casement | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 12S | | 7'-0" | 5'-0" | Fixed | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 14S | | 7'-0" | 5'-0" | Casement | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 15W | | 6'-0" | 3'-6" | Sliding | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W 16W | | 6'-0" | 3'-6" | Sliding | A600 | A600 | A600 | Loâ2 -272 | .25 | <input checked="" type="checkbox"/> | Existing: installing double pane glass of the thinnest dimension, with a dark spacer |
| W G1 | | 2'-6" | 4'-0" | Casement | A600 | A600 | A600 | E272/189 | .27 | <input checked="" type="checkbox"/> | NEW Loewen, Al Clad |
| W G2 | | 2'-6" | 4'-0" | Casement | A600 | A600 | A600 | E272/189 | .27 | <input type="checkbox"/> | NEW Loewen, Al Clad |
| W G3 | | 2'-6" | 4'-0" | Casement | A600 | A600 | A600 | E272/189 | .27 | <input type="checkbox"/> | NEW Loewen, Al Clad |
| W S7 | | 2'-0" | 3'-0" | Undefined | A600 | A600 | A600 | E272/189 | .25 | <input checked="" type="checkbox"/> | NEW Loewen, Awning (Carbon/Wood Clad), Window at former attic |

Cardinal LoE-272 -
(2) Calculations based on 3 mm (1/8") glass, 13 mm (1/2") airspace, 3 mm (1/8") glass

2 Window Schedule
A500 SCALE: 1' = 1'-0"

| TYPE | Flush | | | | | | | | | | | | | |
|------------|----------------------------|----------------------------|-----------------------------|---------------------------|-----------------|----------------------------|---------------------------|-------------------------|----------------------|----------------------|-------------------------|---------------------|---------------------|---------------------------|
| VIEW | | | | | | | | | | | | | | |
| DIMENSIONS | --- | 2'-0"×8'-0" | 2'-10"×8'-0" | 2'-10"×8'-0" | 2'-10"×8'-0" | 2'-6"×8'-0" | 2'-6"×8'-0" | 2'-6"×8'-0" | 2'-8"×6'-0" | 2'-8"×8'-0" | 2'-8"×8'-0" | 3'-0"×7'-0" | 3'-0"×8'-0" | 3'-0"×8'-0" |
| NOTES | Interior, Lower West Cl... | Interior, Lower East Ba... | Interior, 1/2 bathe lowe... | Interior, Lower West B... | Primary Bedroom | Interior, Lower East Be... | Interior, Lower West B... | Primary Bedroom, Wat... | Interior, Mechanical | Interior, Mechanical | Primary Bedroom, Bat... | Existing (interior) | Existing (interior) | Existing, no change (...) |

DOOR LEGEND

| | | | | | | | | | | | | | |
|-----------------------------|-------------------------|-------------------------|----------------------|----------------------|---------------------------|---------------------------|----------------------|---------------------|---------------------|---------------------|------------------------|-----------------------------|--------------------------|
| | | | | | | | | | | | | | |
| 3'-0"×8'-0" | 3'-0"×8'-0" | 3'-0"×8'-0" | 4'-0"×8'-0" | 4'-1 7/64"×8'-0" | 7'-9"×6'-5" | 7'-9"×6'-5" | 8'-0"×8'-0" | 2'-9"×7'-0" | 3'-0"×7'-0" | 2'-9"×7'-0" | 7'-9"×6'-5" | 3'-10"×8'-0" | 6'-0"×7'-0" |
| Interior, 1/2 bathe lowe... | Primary Bedroom, Bat... | Primary Bedroom, Wat... | Interior, Mechanical | Interior, Mechanical | Existing Garage Door, ... | Existing Garage Door, ... | Interior, Mechanical | Existing (interior) | Existing (interior) | Existing (interior) | NEW Loewen Sliders ... | Existing door, replace t... | Loewen, 2nd Floor Bal... |

| | | | |
|---------------------|-----------------------|---------------------|-----------------------------|
| | | | |
| 6'-0"×8'-2" | 3'-0"×6'-4" | 3'-0"×6'-6" | 3'-0"×6'-6" |
| NEW Loewen, Al Clad | NEW Loewen Garage,... | Existing (interior) | Existing door, replace t... |

6
A501 Door Legend
SCALE: 1" = 1'-0"

DOOR SCHEDULE

| NUMBER | ROOM NAME | DOOR LEAF | | | | TYPE | HEAD DETAIL | JAMB DETAIL | SILL DETAIL | HARD WARE SET | ACCESORIES | RATINGS | | REMARKS |
|-------------|-----------|---------------|----------------|----------------|--------------|------|-------------|-------------|-------------|---------------|------------|---------|--|---------|
| | | NOMINAL WIDTH | NOMINAL HEIGHT | LEAF THICKNESS | MATERIAL | | | | | | | FIRE | STC | |
| D1 L1 | | 3'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Primary Bedroom, Water Closet | |
| D1 L2 | | 3'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Interior, 1/2 bathe lower level | |
| D1 L3 | | 3'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Primary Bedroom, Water Closet | |
| D 1E | | 3'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Existing, no change (@ stairs) | |
| D 1N | | 6'-0" | 8'-2" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | NEW Loewen, Al Clad | |
| D 2N | | 6'-0" | 8'-2" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | NEW Loewen, Al Clad | |
| D 3E | | 3'-0" | 2'-9" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Louvered stair door | |
| D 4 Shutter | | 7'-9" | 6'-5" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Existing Garage Door, Cut to Make Bi-fold shutters, no locking HW (shutter) | |
| D 4S | | 7'-9" | 6'-5" | 1 3/4" | ALUM / GLASS | A600 | A600 | A600 | | | Non-Rated | | NEW Loewen Sliders at garage doors (sliders behind shutters at bedrooms) | |
| D 5 Shutter | | 7'-9" | 6'-5" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Existing Garage Door, Cut to Make Bi-fold shutters, no locking HW (shutter) | |
| D 5S | | 7'-9" | 6'-5" | 1 3/4" | ALUM / GLASS | A600 | A600 | A600 | | | Non-Rated | | NEW Loewen Sliders at garage doors (sliders behind shutters at bedrooms) | |
| D 6W | | 3'-10" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Existing door, replace the screen door if needed, no change to historic door | |
| D 11E | | 6'-0" | 7'-0" | 1 3/4" | ALUM / GLASS | A600 | A600 | A600 | | | Non-Rated | | Loewen, 2nd Floor Balcony (Al. Clad) | |
| D 22E | | 3'-0" | 6'-6" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Existing door, replace the screen door if needed, no change to historic door | |
| D B1 | | 2'-6" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Interior, Lower West Bedroom | |
| D B2 | | 2'-10" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Interior, Lower West Bathroom | |
| D B3 | | 8'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | 1 hour | | Interior, Mechanical | |
| D B5 | | 2'-6" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Interior, Lower East Bedroom | |
| D B6 | | 2'-0" | 8'-0" | 0 1/4" | ALUM / GLASS | A600 | A600 | A600 | | | Non-Rated | | Interior, Lower East Bathe/Shower Door | |
| D B7 | | 2'-10" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Interior, 1/2 bathe lower level | |
| D B8 | | 2'-0" | 8'-0" | 0 1/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Interior, Lower East Bathe/Shower Door | |
| D B 3 | | 4'-1 7/64" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | 1 hour | | Interior, Mechanical | |
| D B 4 | | 4'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | 1 hour | | Interior, Mechanical | |
| D G1 | | 3'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | NEW Loewen Garage, entry door | |
| D G2 | | 3'-0" | 6'-4" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | NEW Loewen Garage, entry door | |
| D GAR1 | | 12'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Garage door, new | |
| D M 9 | | 2'-8" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Interior, Mechanical | |
| D M 10 | | 2'-8" | 6'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | 1 hour | | Interior, Mechanical | |
| D PB1 | | 2'-10" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Primary Bedroom | |
| D PB2 | | 3'-0" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Primary Bedroom, Bathroom | |
| D PB3 | | 2'-8" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Primary Bedroom, Bathroom | |
| D PB4 | | 2'-6" | 8'-0" | 1 3/4" | SC WOOD | A600 | A600 | A600 | | | Non-Rated | | Primary Bedroom, Water Closet | |

2
A501 Door Schedule

INTEGRATED DESIGN TEAM

Civil Grading and Drainage
Jay Engstrom, P.E.
Crystal River Civil, LLC
Landscape Architect
Jennifer M. Dolecki-Smith, RLA
Escape Garden Design, LLC
Structural Engineer
Brian Fossiter, P.E.
bwr.pe
Contractor
Adam Rothberg
Rothberg Development



312 W Hyman Ave
312 W Hyman Ave Lots P+Q,
Block 46 Aspen CO 81611 USA/
Pitkin County UGB, City of Aspen
312 W Hyman Ave Aspen CO
81611 USA

Powder Day Skiing, LLC, David A
Tarrab Mees

Account # R000145
Parcel ID # 273512464006

08/22/21 COA- HPO Site Visit
02/26/22 COA- HPC Conceptual I
04/27/22 COA- HPC Conceptual II
07/27/22 COA- HPC Final
10/12/22 COA- City Council Call Up
04/12/23 COA- HPC Substantial
06/28/23 COA- Permit Submittal
07/29/24 COA- Building comments, #4

PROJECT NO: Project No. 116
MODEL FILE:
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DRAWN BY: Jeffrey H Woodruff
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SHEET TITLE

Schedules

A501

SHEET 63

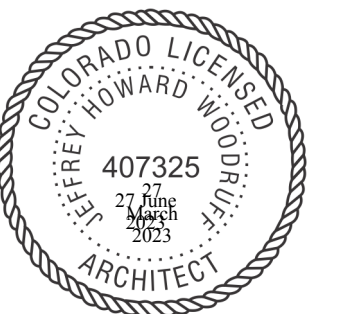
INTEGRATED DESIGN TEAM

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Jay Engstrom, P.E.
Crystal River Civil, LLC

Landscape Architect
Jennifer M. Dolecki-Smith, RLA
Escape Garden Design, LLC

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Brian Flossiter, P.E.
bwr.pe

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312 W Hyman Ave
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Pitkin County UGB, City of Aspen

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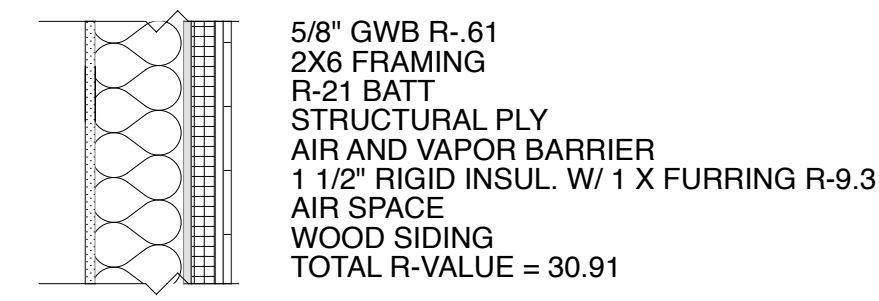
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DRAWN BY: Jeffrey H Woodruff
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SHEET TITLE

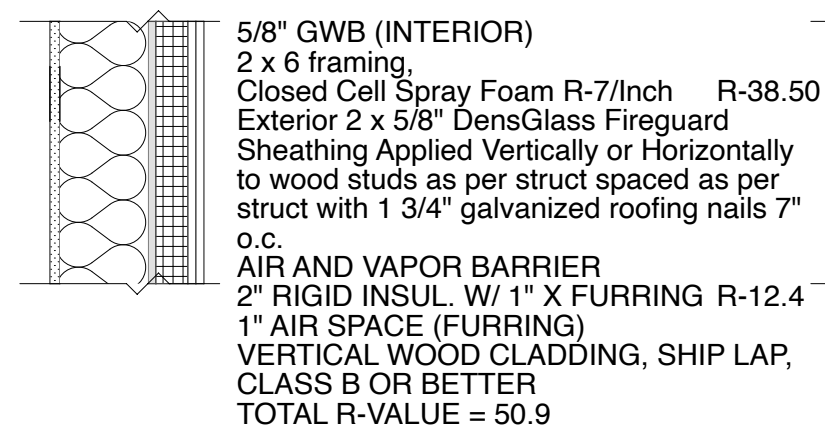
**Assemblies & Plan
Details**

A600

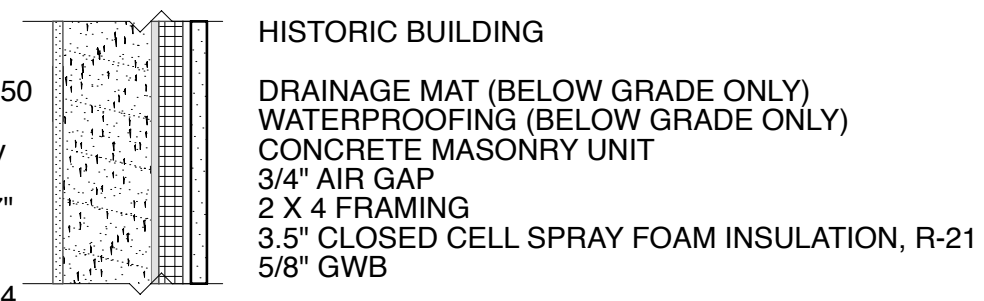
SHEET 64



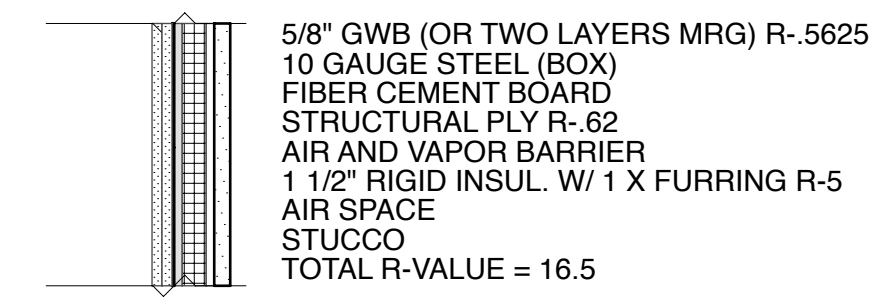
W1 (HISTORIC EXISTING)



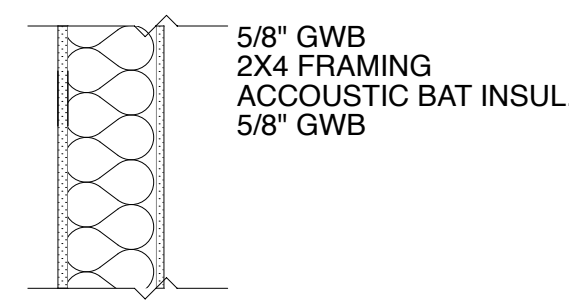
W2 NEW CONSTRUCTION WOOD WALL (RESIDENCE)



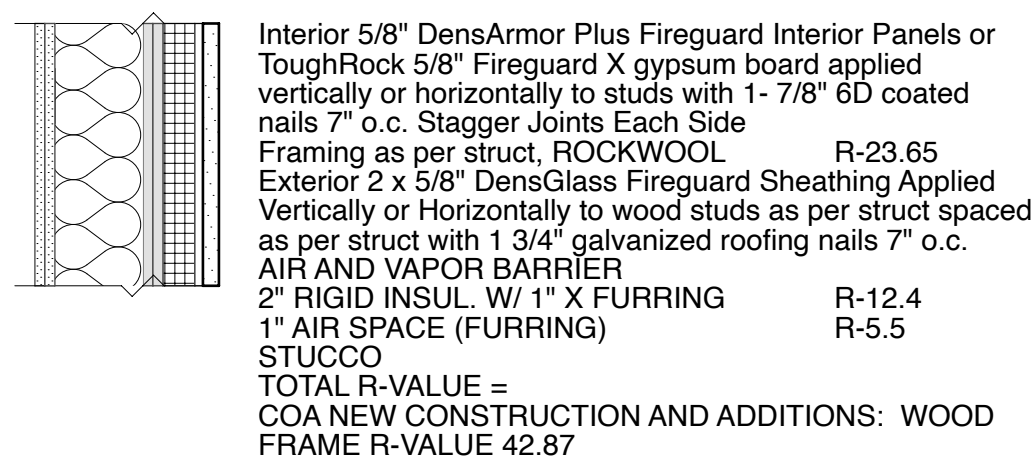
W3 (Historic Existing CMU), add continuous insulation (interior) at habitable spaces, to add R-5 to R-9.3 to assembly for thermal comfort



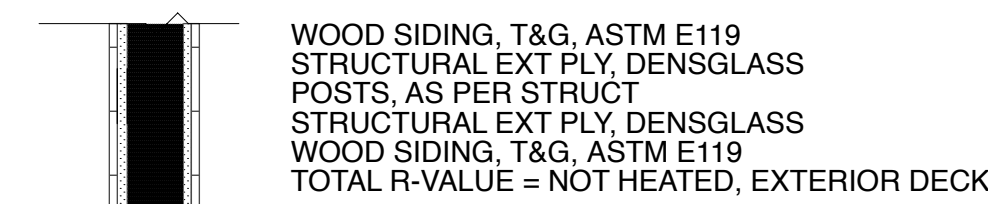
W 6 Chimney and Flu (Rebuilt)



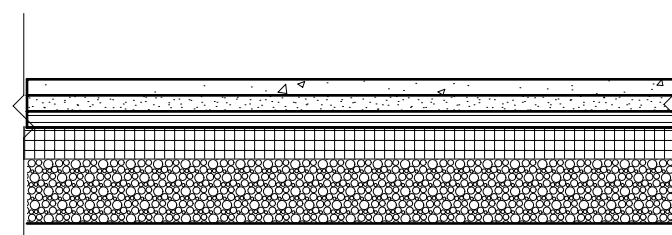
W5



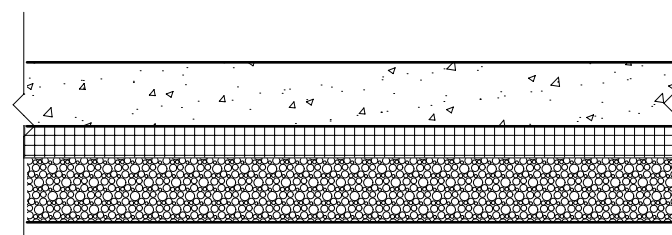
W4-X 1 Hour Firewall @ Garage (AS PER GP CUT SHEET BELOW)



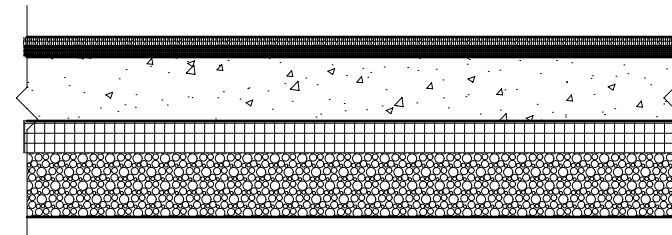
W12 (North Deck Exterior)



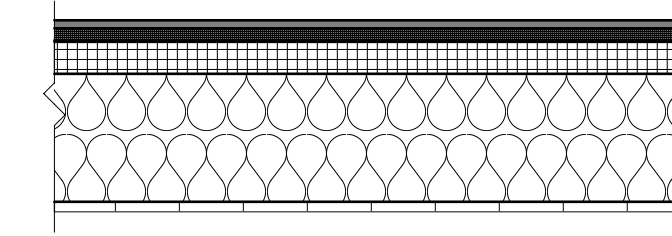
PAVERS (AS PER LANDSCAPE PLAN)
• SAND BASE
• WSMN SNOW MELTING MAS
• CRUSHED GRAVEL
• 2" POLYISO RIGID INSUL = R 13.0
• 4" GRAVEL
R Value of Assembly = R13.0
F2 (floor at entry)



SLAB ON GRADE
• 2" RIGID INSULATION
• 15 MIL VAPOR RETARDER
• 4" GRAVEL
• UNDISTURBED OR COMPACTED SUBGRADE
F1 (Existing Historic slab)



• CARPET AND PAD
• 3/4" PLYWOOD(UNDERLAYMENT GRADE)
• 1X2 SLEEPERS
• 2" RIGID INSULATION
• 15 MIL VAPOR RETARDER
• 4" GRAVEL
• UNDISTURBED OR COMPACTED SUBGRADE
F3 (Existing Historic slab)



HISTORIC ROOF
• torch applied 3 layer asphalt
• 1/2" DENSDECK, THERMAL, MOISTURE, WIND BARRIER (Not on file)
• 1 1/2" POLYISO RIGID INSUL R7.5 (Not on file, not with permit, COA client)
• 3/4" SHEATHING
• WOOD RAFTERS RE: STRUCT
• SPRAY FOAM (7.5" @ R7 /in) R 52.5
• HAT CHANNELS
• WOOD T&G

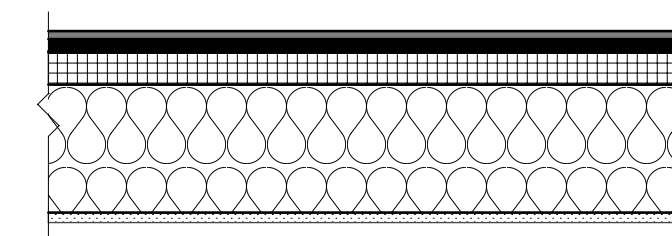
TOTAL R VALUE = R60
THIS ROOF WAS INSTALLED BY THE CITY OF ASPEN, PLEASE SEE JEFF PNDARVIS' CUT SHEETS AND PERMIT. THIS IS A HISTORIC CITY OF ASPEN INSTALLATION BY THE CITY'S ROOFER

R1 (Removing drop ceiling, adding new insulation. Sistering new rafters 2 x 12", assuming 7.5" minimum spray foam)

CURRENT HISTORIC STRUCTURE ROOF, INSTALLED BY THE CITY OF ASPEN, CAPITAL ASSETS DIVISION
Permit 0003.2013.AGR
Owner (City of Aspen) contracted with GZO Sheet metal to replace tar and gravel roof with torch applied asphalt (3 layer torch down) this replaced the 1991 roof that was a mansville built up, spec 4GNG.

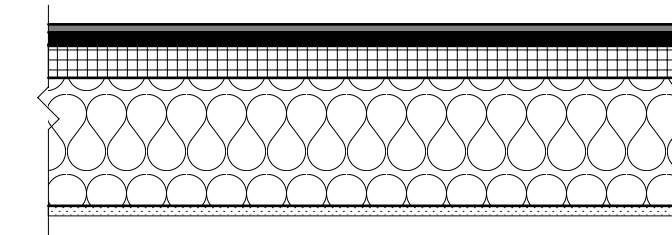
The work performed does not comply with grading and drainage. As per the City of Aspen, changed existing trim and fascia profile and gutter, 01/11/13 tear off existing deck membrane and roof, add box gutter to front of deck

01.12.2012.AGR A 14" aspen was removed in 2014, in order to install patio with pavers (assuming west patio)



• TEE-LOCK STANDING SEAM METAL ROOF
• 1/2" DENSDECK R.56
• THERMAL, MOISTURE, WIND BARRIER
• 2" POLYISO RIGID INSUL R13.0
• 3/4" SHEATHING
• WOOD RAFTERS RE: STRUCT
• SPRAY FOAM (7.5" @ 7 R/in) R52.5
• HAT CHANNELS
• INTERIOR GWG
• EXTERIOR: FIBER CEMENT BOARD AT ALL EAVES (CLASS (A) FIRE/FLAME SPREAD RATING)
TOTAL R VALUE = R 66.06

R2 (Garage, new), UL 790 CLASS A ROOF



• SYNTHETIC DECKING MATERIAL
• SLEEPERS
• 1/2" DENSDECK R.56
• THERMAL, MOISTURE, WIND BARRIER
• 2" POLYISO RIGID INSUL R13.0
• 3/4" SHEATHING
• WOOD RAFTERS RE: STRUCT
• SPRAY FOAM (7.5" @ 7 R/in) R52.5
• HAT CHANNELS
• GWB
TOTAL R VALUE = R66.06

R3 (Primary Bed, Decking)

DensGlass® Sheathing



Fire-Rated Assemblies

5/8" DensGlass® Fireguard® Sheathing is UL and ULC certified as **Type DGG** and is included in numerous assembly designs investigated by UL and ULC for hourly fire resistance ratings.

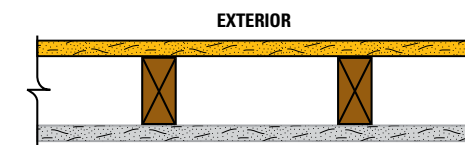
In addition, 5/8" DensGlass Fireguard Sheathing is certified as "Type X" in accordance with ASTM C1177 and may replace 5/8" gypsum sheathing specified as Type X in generic fire-rated wall assemblies. Generic systems in the GA-600 Fire Resistance Design Manual are applicable to the products of any manufacturer, including Georgia-Pacific Gypsum, provided they meet certain standards set forth in such manual, such as Type X gypsum board per applicable ASTM standard with specified thickness and size described in the design. "Type X" as used in this technical guide designates gypsum board manufactured and tested in accordance with specific ASTM standards for increased fire resistance beyond regular gypsum board. Please consult the ASTM standard for the specific product (for example, ASTM C1177 for glass mat gypsum substrate for use as sheathing) for further information and significance of use.

Proprietary GA-600 Designs: Assemblies listed as proprietary in the GA-600 Fire Resistance Design Manual only list one product per manufacturer and may not include all products referenced in the illustrations below. Please consult the specified UL, ULC, or other fire listing or test for a complete list of approved products.

The following design assemblies are for illustrative purposes only. Consult the appropriate fire resistance directory or test report for complete assembly information. For additional fire safety information concerning DensGlass Sheathing, visit www.buildgp.com/safetyinfo.

1-Hour Fire Rating

Design Reference: UL U305, U337, WHI 495-0702, GA WP 8130



30-34 STC Sound Trans.

Test Reference: OR 64-8

Wall Thickness: 4-3/4" (121 mm)

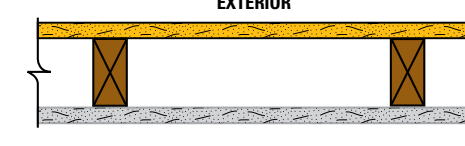
Weight per Sq. Ft.: 7.5 psf (37 Kg/m²)

Exterior: 5/8" (15.9 mm) DensGlass® Fireguard® Sheathing applied vertically (U337, U305) or horizontally (U305) to 2" (51 mm) x 4" (102 mm) wood studs 16" (406 mm) o.c. with 1-3/4" (45 mm) galvanized roofing nails 7" (178 mm) o.c. for all framing members. Exterior surface covered with weather exposed cladding or finish system.

Interior: 5/8" (15.9 mm) DensArmor Plus® Fireguard® interior panels or 5/8" (15.9 mm) ToughRock® Fireguard X gypsum board applied vertically (U337, U305) or horizontally (U305) to studs with 1-7/8" (48 mm) 6d coated nails 7" (178 mm) o.c. Stagger joints each side.

1-Hour Fire Rating

Design Reference: UL U309, cUL U309, GA WP 2510, GA WP 8105



35-39 STC Sound Trans.

Test Reference: NGC 2404

Wall Thickness: 4-7/8" (124 mm)

Weight per Sq. Ft.: 7.0 psf (34 Kg/m²)

Exterior: 5/8" (15.9 mm) DensGlass Fireguard Sheathing applied vertically or horizontally to 2" (51 mm) x 4" (102 mm) wood studs spaced 24" (610 mm) o.c. with 1-3/4" (45 mm) galvanized roofing nails 7" (178 mm) o.c.

Interior: 5/8" (15.9 mm) DensArmor Plus Fireguard interior panels or 5/8" (15.9 mm) ToughRock Fireguard X gypsum board applied vertically or horizontally to framing with 1-7/8" (48 mm) 6d coated nails 7" (178 mm) o.c.

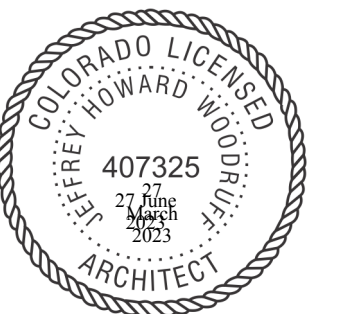
INTEGRATED DESIGN TEAM

Civil Grading and Drainage
Jay Engstrom, P.E.
Crystal River Civil, LLC

Landscape Architect
Jennifer M. Dolecki-Smith, RLA
Escape Garden Design, LLC

Structural Engineer
Brian Fossiter, P.E.
bwr.pe

Contractor
Adam Rothberg
Rothberg Development



312 W Hyman Ave
312 W Hyman Ave Lots P+Q,
Block 46 Aspen CO 81611 USA/
Pitkin County UGB, City of Aspen
312 W Hyman Ave Aspen CO
81611 USA

Powder Day Skiing, LLC, David A
Tarrab Mees

Account # R000145
Parcel ID # 273512464006

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- 02/26/22 COA- HPC Conceptual I
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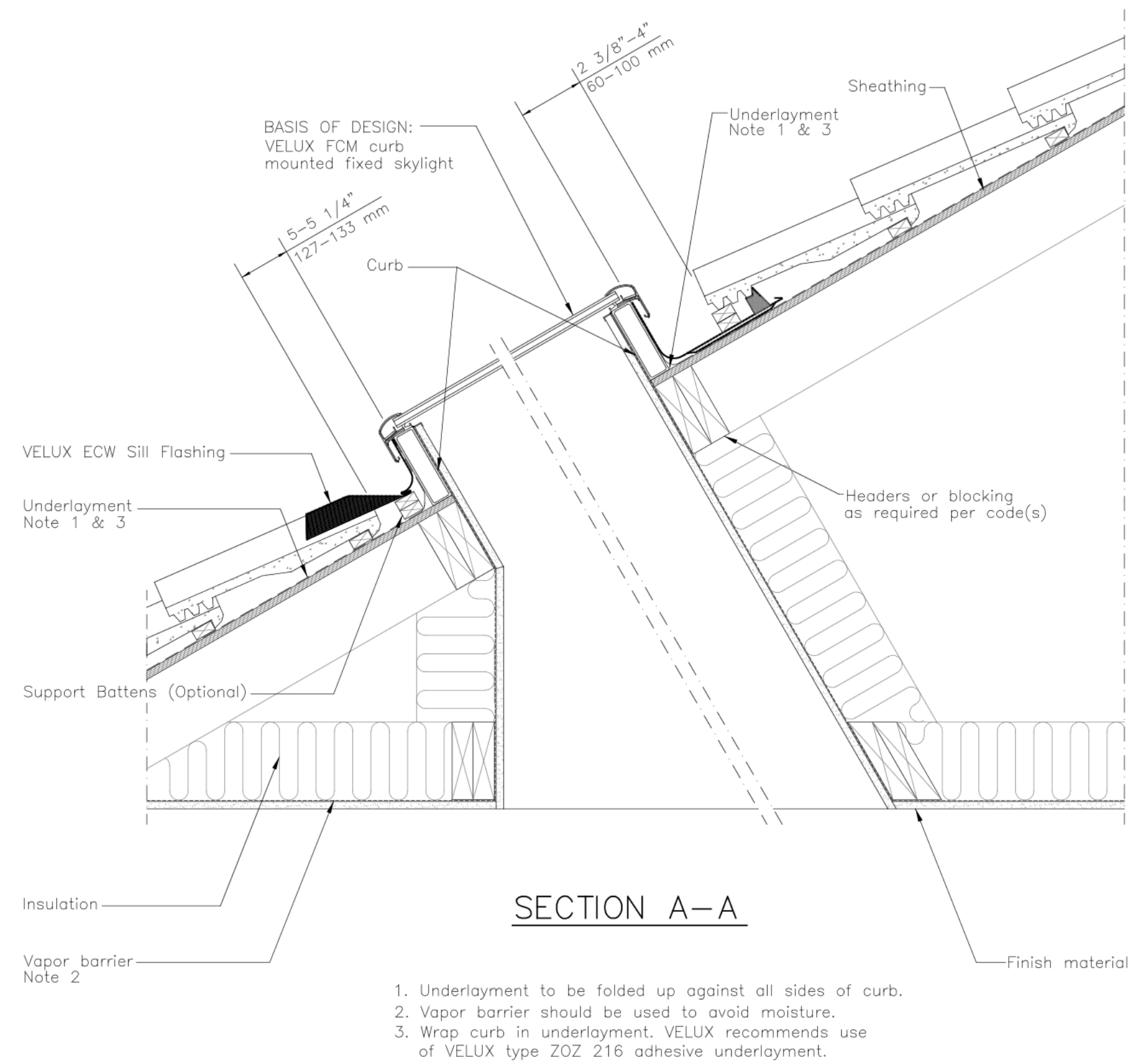
PROJECT NO: Project No. 116
MODEL FILE:
312_W_Hyman_07292024.pln
DRAWN BY: Jeffrey H Woodruff
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SHEET TITLE

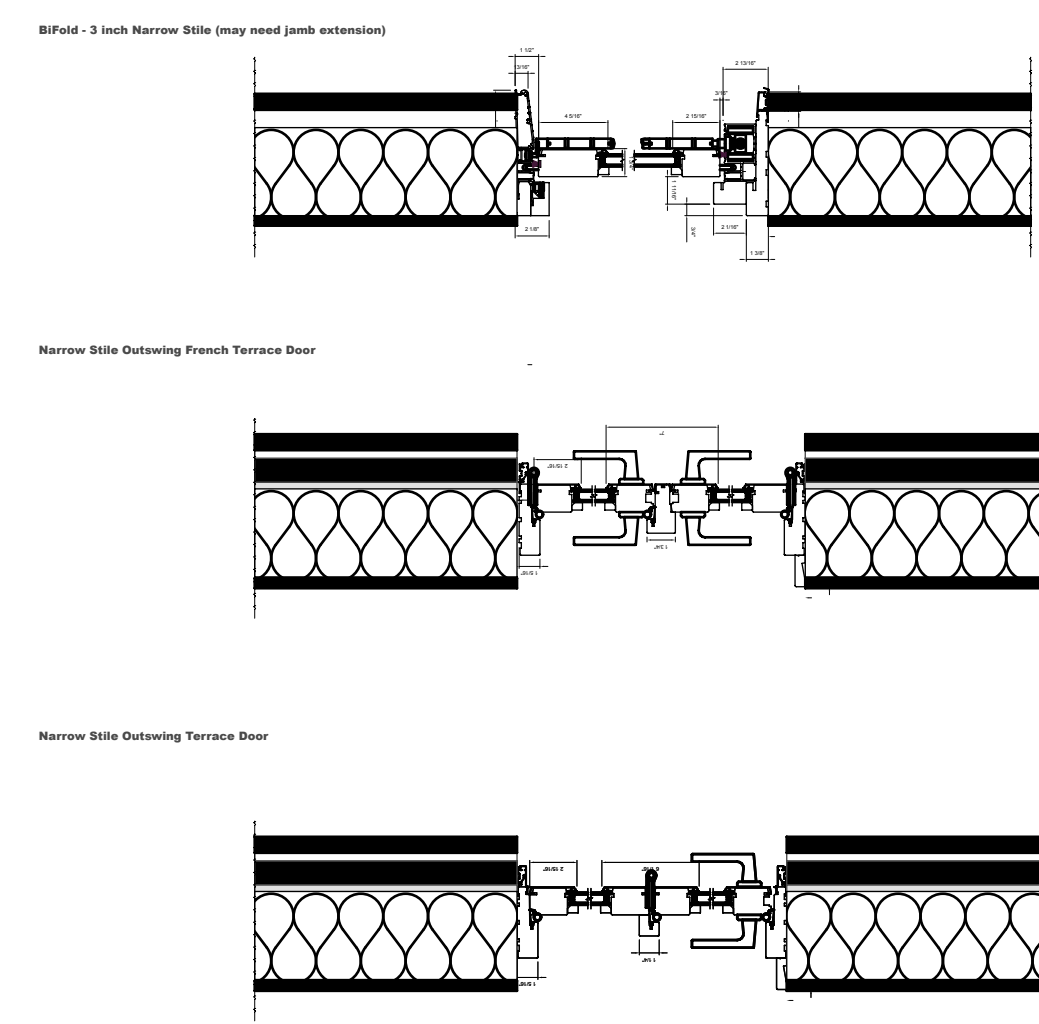
**Assemblies- Skylights,
Fenestration**

A601

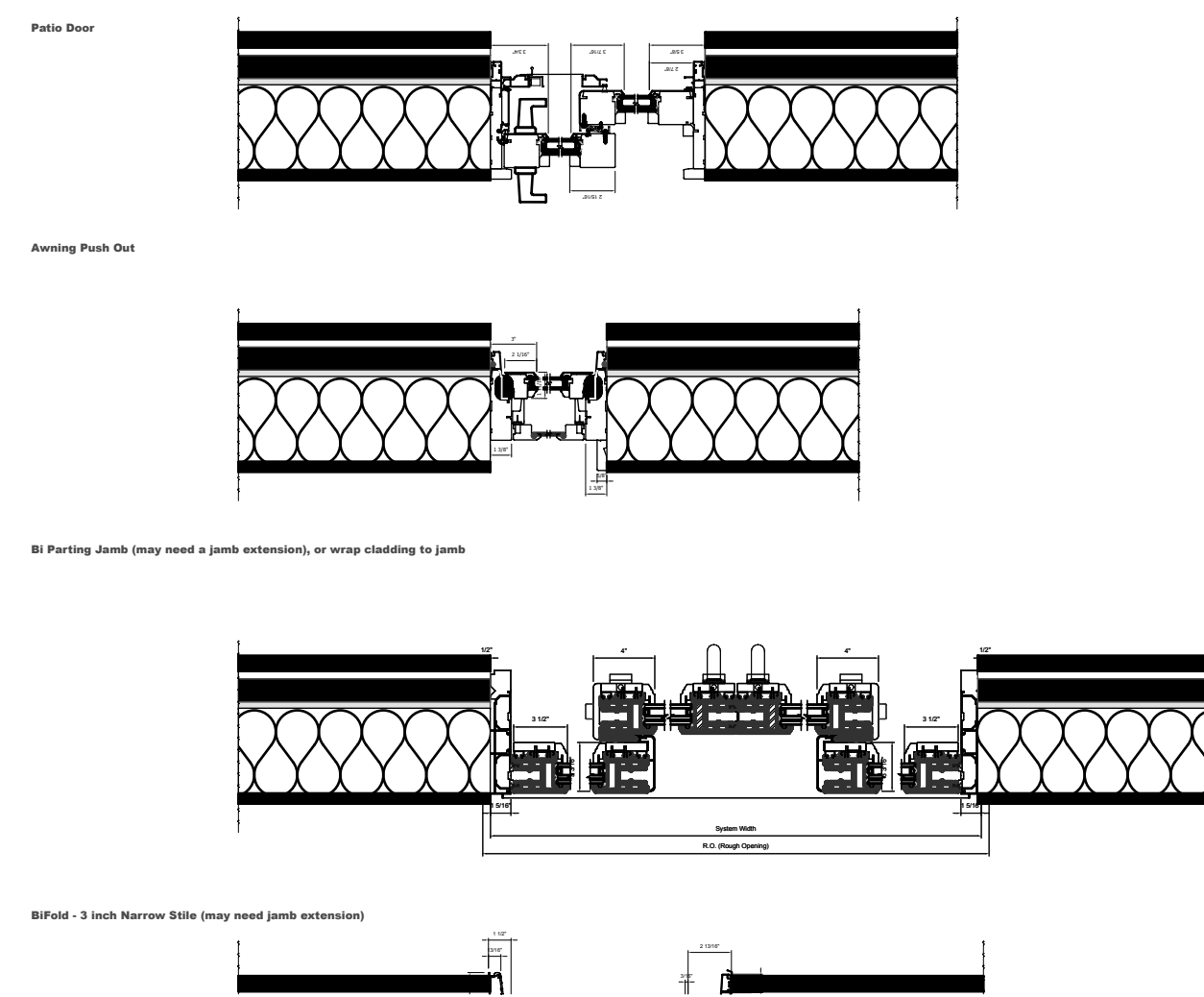
SHEET 65



1. Underlayment to be folded up against all sides of curb.
2. Vapor barrier should be used to avoid moisture.
3. Wrap curb in underlayment. VELUX recommends use of VELUX type ZOZ 216 adhesive underlayment.



7
A601 Loewen Wood Clad Plan Details (Generic Assembly)



6
A601 Loewen Wood Clad Plan Details (Generic Assembly)

5
A601 light shaft DASI, VELUX Digital Asset Storage Infrastructure
SCALE: 1" = 1'-0"

Room-Darkening, Double-Pleated Code: CS- Solar
CH- Manual

00 White, 01 Beige, 44 Grey, 45 Grey Melange, 46 Dark Sand

Light-Filtering, Single-Pleated Code: FS- Solar
FH- Manual

00 White, 01 Classic Sand, 34 Natural, 35 Dark Grey, 36 Jeans Blue

Order code example: Code + Color = CS00

2-4 business days for delivery (up to 13 business days for delivery)

All base models are available to have pre-installed blinds, however, some optional skylight models may not be available. VELUX Customer Service will confirm availability.

VELUX Models

0° - 60°
032 - 2032

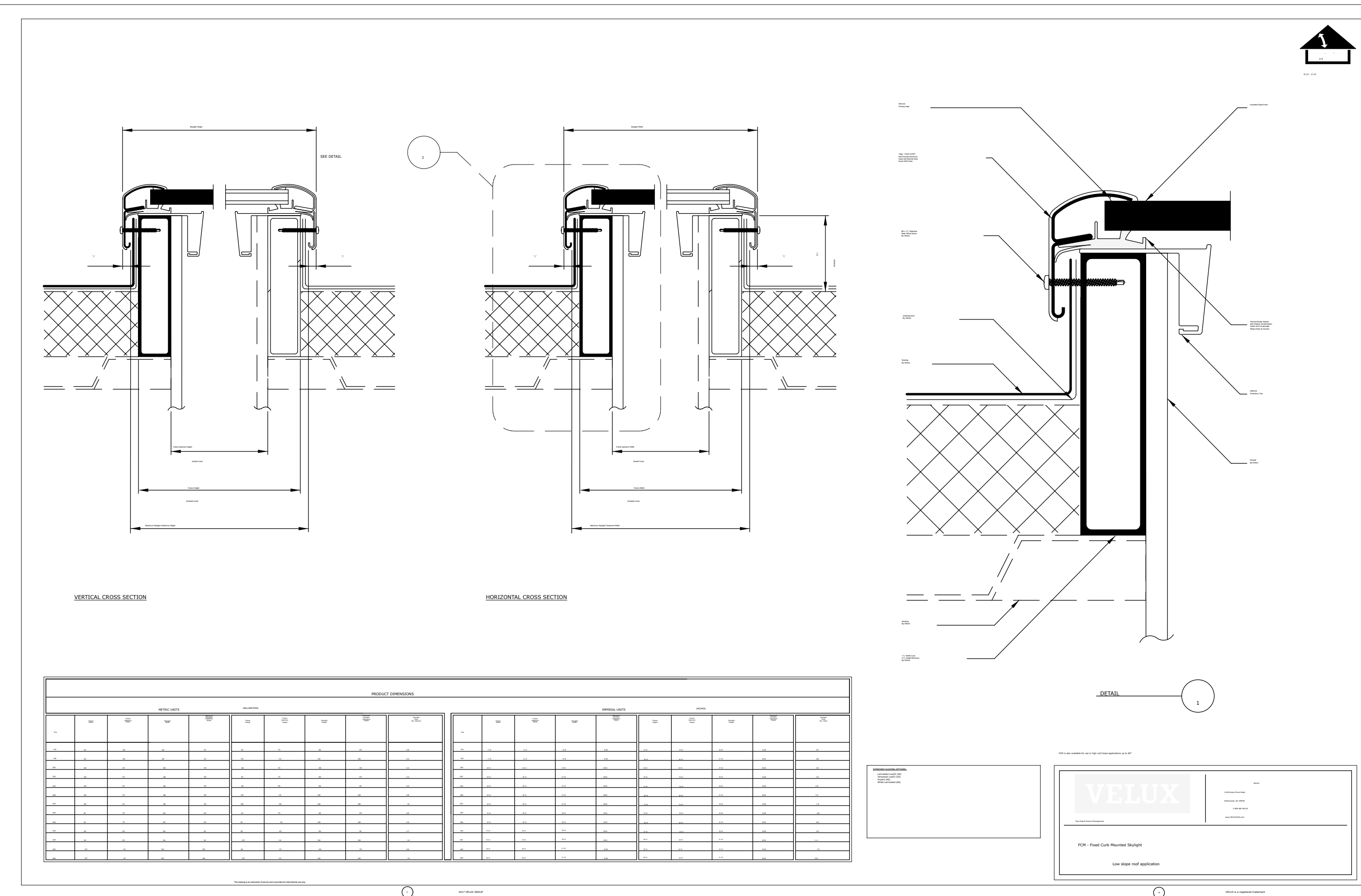
VCS
VCM
VCE
FCM

3
A601 Velux Models
SCALE: 1" = 1'-0"

1
A601 Velux Blinds

| SIZE - W" x H" | 1430 | 1446 | 2222 | 2230 | 2234 | 2246 | 2270 | 3030 | 3046 | 3055 | 3434 | 3446 | 4646 | 4672 |
|----------------------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| Inside Curb | 14 1/8 x 30 3/8 | 14 1/8 x 46 1/8 | 22 1/8 x 22 1/8 | 22 1/8 x 30 3/8 | 22 1/8 x 34 1/8 | 22 1/8 x 46 1/8 | 22 1/8 x 70 1/8 | 30 1/8 x 30 1/8 | 30 1/8 x 46 1/8 | 30 1/8 x 55 1/8 | 34 1/8 x 34 1/8 | 34 1/8 x 46 1/8 | 46 1/8 x 46 1/8 | 46 1/8 x 72 1/8 |
| Outside Curb | 17 1/8 x 33 1/8 | 17 1/8 x 49 1/8 | 25 1/8 x 25 1/8 | 25 1/8 x 33 1/8 | 25 1/8 x 37 1/8 | 25 1/8 x 49 1/8 | 25 1/8 x 73 1/8 | 33 1/8 x 33 1/8 | 33 1/8 x 49 1/8 | 33 1/8 x 58 1/8 | 37 1/8 x 37 1/8 | 37 1/8 x 49 1/8 | 49 1/8 x 49 1/8 | 49 1/8 x 75 1/8 |
| Maximum Skylight Clearance | 18 1/8 x 34 1/8 | 18 1/8 x 50 1/8 | 26 1/8 x 26 1/8 | 26 1/8 x 34 1/8 | 26 1/8 x 38 1/8 | 26 1/8 x 50 1/8 | 26 1/8 x 74 1/8 | 34 1/8 x 34 1/8 | 34 1/8 x 50 1/8 | 34 1/8 x 59 1/8 | 38 1/8 x 38 1/8 | 38 1/8 x 50 1/8 | 50 1/8 x 50 1/8 | 50 1/8 x 76 1/8 |

2
A601 Standard Velux Sizes
SCALE: 1" = 1'-0"



4
A601 Skylight Assembly
SCALE: 3" = 1'-0"



3 Lamp
A- E101 SCALE: 1' = 1'-0"



2 Cage
A- E101 SCALE: 1' = 1'-0"

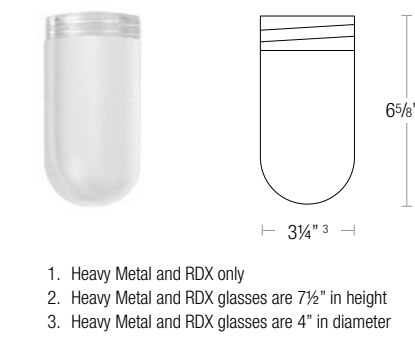
Light at the property line < .5 Foot Candles as per code. The existing lighting is a mix of jelly jars and exposed lamps.

ACCESSORIES

Optional

- GLASS ENCLOSURE**
- Glass is available in clear (-CG), frosted (-FG) or opal (-OG) *
 - See fixture pages for availability

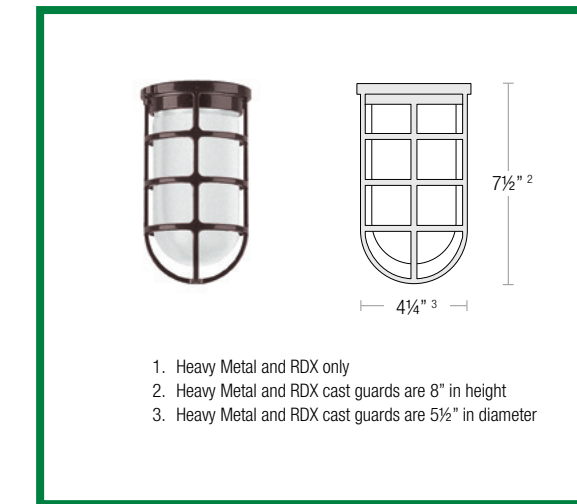
- CG (Clear Glass Enclosure)
- FG (Frosted Glass Enclosure)
- OG (Opal Glass Enclosure)



- Heavy Metal and RDK only
- Heavy Metal and RDK glasses are 7 1/2" in height
- Heavy Metal and RDK glasses are 4" in diameter

- CAST GUARD WITH GLASS ENCLOSURE**
- Cast guard can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, cast guard is unfinished Raw Aluminum)
 - Glass is available in clear (-CG), frosted (-FG) or opal (-OG) *
 - See fixture pages for availability

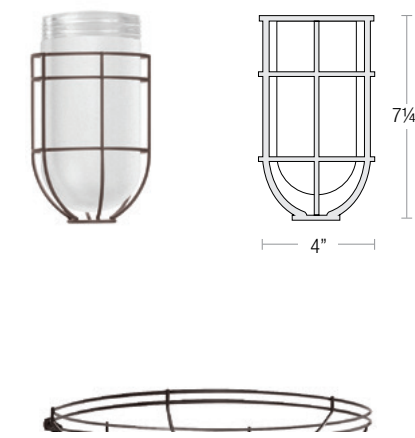
- CG (Clear Glass w/ Cast Guard)
- FG (Frosted Glass w/ Cast Guard)
- OG (Opal Glass w/ Cast Guard)



- Heavy Metal and RDK only
- Heavy Metal and RDK cast guards are 6" in height
- Heavy Metal and RDK cast guards are 5 1/2" in diameter

- WIRE CAGE WITH GLASS ENCLOSURE**
- Wire cage can be specified in all standard and specialized finishes, and will match shade finish unless otherwise specified (Note: For galvanized shade finishes, wire cage is finished in Painted Natural Aluminum)
 - Glass is available in clear (-CGW) or frosted (-FGW)
 - See fixture pages for availability

- CGW (Clear Glass w/ Wire Cage)
- FGW (Frosted Glass w/ Wire Cage)



1 16 RLM-Catalog_2022-V2 page 58-59
A- E101 SCALE: 1' = 1'-0"

12 April 2023
To: City of Aspen
From: Jeffrey Woodruff, Cloud Hill Design, LLC, rep Powderdayskiing, LLC

RE: Electrical service needs at 312 West Hyman, as per HPC conceptual review and follow up Utilities

City of Aspen 312 W Hyman Ave #Upst 01-25036520-00
City of Aspen 312 W Hyman Ave #DWST 01-250360-00

Currently we have 300 Amp total building services, far exceeding our current and anticipated needs
312 W Hyman Ave #Upst on a 200 Amp service (need to confirm again with provider)
312 W Hyman Ave #DWST on a 100 Amp

Efficiency
Renewables - Energy Neutral- Renewable Electrification
Work with City of Aspen Electric (no incentives), CORE (rebates and grants), Federal ITC.
No REMF (< 64 SQ FT hot tub, no snowmelt)

Building Envelope
Building Mechanical Systems- Building Loads
Windows- all outmoded, end of useful life single pane with no UV protection. Solution to existing single pane, "installing double pane glass of the thinnest dimension, with a dark spacer"

Current ACH > 1.2. Will provide blower door (pre and) post construction.

Thermal loads- assuming two units, need of 40 A/unit
Thermal loads- assuming one or two units, need of 40 A/unit (assuming potential for electric back up - for low temp, id est negative temperature and hyper heat performs with less efficiency)

Mitsubishi Hyper-Heat Electrical Requirements Model:
MXZ-8C48NAHZ2 (48,000 BTU/H)
MXZ-8C60NA2 (60,000 BTU/H)
Power Supply Voltage,Phase, Hertz 208 / 230V, 1-Phase, 60 Hz
Recommended Fuse/Breaker Size

40 A
MCA 35 A
Voltage Indoor - Outdoor S1-S2 A
C 208 / 230
Indoor - Outdoor S2-S3
+12 VDC to +24 VDC

Kitchen Needs
Electric refrigeration
Dishwasher
Induction Electric cooking

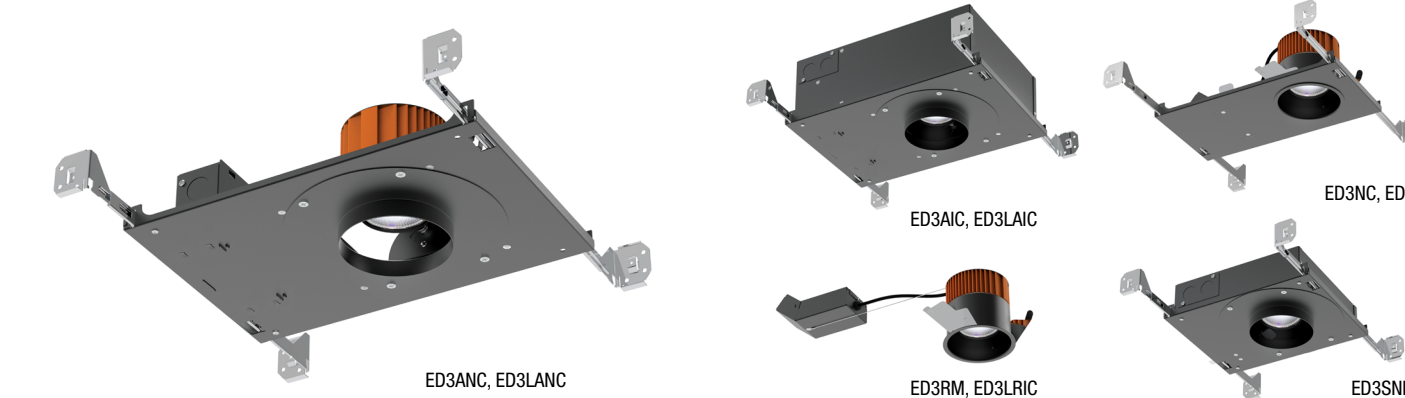
Electrical requirements
Washer/Dryer(s)
Hot water heater/heat pump/Energy Star (heat pump/hybrid) (AO Smith or Rheem)
AO Smith (and Water Softener)

LED lighting and controls all run on < 15 AMP (if all LED)

Outdoor energy consumption
Fossil fuel needs- outdoor gathering space outdoor electric space heaters (preferred)
Hot tub <64 Sq Ft. (to avoid REMF fees), Crown XL
Eave snowmelt (linear feet, health safety at entry)
Walkway snowmelt (low albedo pavers)
Car charger in detached garage

Onsite renewable energy and storage
Solar array (on garage roof)
5 Tesla Powerwalls (work with CORE)

| | | |
|---|---|----------------|
| SPEC-00272 NEW ECO, 3", V-7-1, UPDATED 12/29/2022 | ECO 3" LED DOWNLIGHT | PROJECT: _____ |
| | ED3AIC, ED3ANC, ED3NC, ED3RM ED3LAIC, ED3LANC, ED3LNIC, ED3LRIC ED3SNIC | TYPE: _____ |
| | | NOTE: _____ |



| | |
|-------------------------|--------------------------------------|
| LED LIGHT ENGINE | |
| RATED WATTAGE | 20.1W, 13.4W, 11.3W |
| DELIVERED LUMENS | Up to 1929 lm |
| EFFICACY | Up to 108 LPW |
| CCT @ 90CRI | 2700K, 3000K, 3500K, 4000K, Warm Dim |
| COLOR QUALITY | 90+ CRI, 2-Step SDCM |
| LED LIFETIME | 55,000 hours @ L80 |

| | | | | |
|--------------------------------|-----------|-----------|-----------|-----------|
| DELIVERED LUMENS MATRIX | | | | |
| ED3 (20.1W) | 10° Optic | 30° Optic | 50° Optic | 80° Optic |
| 2700K (90CRI) | 1669 lm | 1744 lm | 1592 lm | 1125 lm |
| 3000K (90CRI) | 1803 lm | 1884 lm | 1720 lm | 1216 lm |
| 3500K (90CRI) | 1846 lm | 1929 lm | 1761 lm | 1244 lm |
| 4000K (90CRI) | 1900 lm | 1985 lm | 1812 lm | 1281 lm |
| ED3 NIC, RIC (13.4W) | 10° Optic | 30° Optic | 50° Optic | 80° Optic |
| Warm Dim (68 CRI, R9-90) | 868 lm | 938 lm | 846 lm | 604 lm |
| ED3 AIC, ANC (20.1W) | 10° Optic | 30° Optic | 50° Optic | 80° Optic |
| Warm Dim (68 CRI, R9-90) | 1195 lm | 1291 lm | 1165 lm | 832 lm |

| | | | | |
|---------------|-----------|-----------|-----------|-----------|
| ED3L (11.3W) | 10° Optic | 30° Optic | 50° Optic | 80° Optic |
| 2700K (90CRI) | 1061 lm | 1108 lm | 1012 lm | 715 lm |
| 3000K (90CRI) | 1146 lm | 1198 lm | 1093 lm | 773 lm |
| 3500K (90CRI) | 1173 lm | 1226 lm | 1119 lm | 791 lm |
| 4000K (90CRI) | 1207 lm | 1262 lm | 1152 lm | 814 lm |

| | | | | |
|--------------------------|-----------|-----------|-----------|-----------|
| ED3S (13.4W) | 10° Optic | 30° Optic | 50° Optic | 80° Optic |
| 2700K (90CRI) | 1214 lm | 1269 lm | 1158 lm | 819 lm |
| 3000K (90CRI) | 1312 lm | 1371 lm | 1252 lm | 885 lm |
| 3500K (90CRI) | 1343 lm | 1403 lm | 1281 lm | 905 lm |
| 4000K (90CRI) | 1382 lm | 1445 lm | 1319 lm | 932 lm |
| Warm Dim (68 CRI, R9-90) | 868 lm | 938 lm | 846 lm | 604 lm |

| | |
|-------------------------------------|---|
| SILENT VU™ OPTICS TECHNOLOGY | |
| OPTICS | 50° installed, 10°, 30°, 60° available |
| ADJUSTABLE | 0° to 45° tilt (Adjustable housings only) |
| MEDIA | Clear, Softie, Frosted, Linear Spread |

| | |
|---------------------|------------------------------|
| POWER SUPPLY | |
| INPUT VOLTAGE | 120/277V, 50/60Hz |
| DIMMING | TRIAC, ELV, 0-10V, dms to 1% |
| SERVICABILITY | Below Ceiling Access |

| | |
|---|---|
| TRIM OPTIONS | TRIM COLORS |
| <ul style="list-style-type: none"> Fixed or Adjustable Round or Square Standard or Trimless Wall Wash Wet Location | <ul style="list-style-type: none"> White Black Champagne Champagne w/ White Flange Black w/ White Flange Silver w/ White Flange |

- HOUSING INSTALLATION**
- New Construction includes (2) galvanized steel adjustable hanger bars
 - Remodel option available
 - 3/8" - 2" ceiling thickness
 - Min Plenum Height: 2 1/2" Shallow
 - Ceiling Material: Drywall, T-Bar grid
 - Steel junction box with up to (4) 1/2" knockouts
 - AIC, NIC, RIC, SNIC models are Air Tight
 - AIC, SNIC models are CSA compliant.
 - Note: polyfill spray-in foam insulation must be kept 3" from housing

- LISTINGS AND WARRANTY**
- cULus Listed
 - UL Listed for Damp Location (All Styles)
 - UL Listed for Wet Location (Wet Location Trim Style)
 - IC Rated and Non-IC Rated Available
 - CECA (Chicago Plenum) Approved (AIC, SNIC Models)
 - Five (5) years limited warranty
 - CA Title 24-JAB Compliant (AIC, NIC, RIC, SNIC Models)
 - ASTM E263 Certified Arringt (AIC, NIC, RIC, SNIC Models)



4 CSL Eco Downlight (Plan A)
A- E101 SCALE: 1' = 1'-0"

Jeffrey H. Woodruff
AIA, NCARB, LEED AP
Cloud Hill Design, LLC
Snowmass CO 81654 USA

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PROJECT NO: Project No. 116

MODEL FILE:
312_W_Hyman_07292024.pln

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SHEET TITLE

Electrical- Lamps

A- E101

SHEET 66



SUNPOWER®

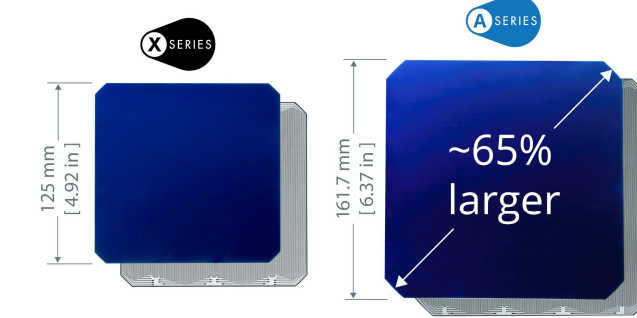
390-400 W Residential A-Series Panels

SunPower® Maxeon® Technology

SunPower® Maxeon® cell-based panels maximize energy production and savings by combining industry-leading power, efficiency, and durability with the most comprehensive power, product, and service warranty in the industry.^{1,2}

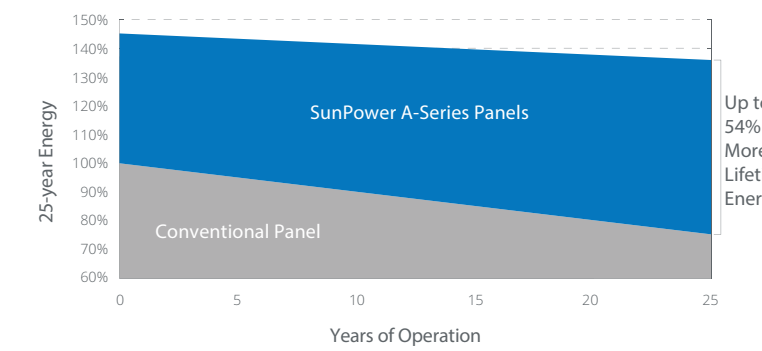
Highest Power Density Available

SunPower's new Maxeon Gen 5 cell is 65% larger than prior generations, delivering the most powerful cell and highest efficiency panel in residential solar.² The result is more power per square meter than any commercially available solar.¹



Maximum Lifetime Energy and Savings

Designed to deliver up to 54% more energy from the same space over the first 25 years in real-world conditions like partial shade and high temperatures.¹

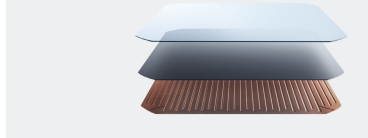


Best Reliability, Best Warranty

SunPower technology is proven to last and we stand behind our panels with the industry's most comprehensive 25-year Combined Power, Product and Service Warranty.



SunPower Maxeon Solar Cell Technology



Fundamentally Different. And Better.

- Cell efficiencies of over 25%
- Delivers leading reliability³
- Patented solid metal foundation prevents breakage and corrosion

As sustainable as the energy it produces.

- Achieved the #1 ranking on the Silicon Valley Toxics Coalition's Solar Scorecard for 3 years running
- SunPower modules can contribute to your business's LEED certification⁴

sunpower.com

POWERWALL

Tesla Powerwall is a fully-integrated AC battery system for residential or light commercial use. Its rechargeable lithium-ion battery pack provides energy storage for solar self-consumption, time-based control, and backup.

Powerwall's electrical interface provides a simple connection to any home or building. Its revolutionary compact design achieves market-leading energy density and is easy to install, enabling owners to quickly realize the benefits of reliable, clean power.



PERFORMANCE SPECIFICATIONS

| | |
|---|--------------------------------|
| AC Voltage (Nominal) | 120/240 V |
| Feed-In Type | Split Phase |
| Grid Frequency | 60 Hz |
| Total Energy | 14 kWh |
| Usable Energy | 13.5 kWh |
| Real Power, max continuous | 5 kW (charge and discharge) |
| Real Power, peak (10s, off-grid/backup) | 7 kW (charge and discharge) |
| Apparent Power, max continuous | 5.8 kVA (charge and discharge) |
| Apparent Power, peak (10s, off-grid/backup) | 7.2 kVA (charge and discharge) |
| Maximum Supply Fault Current | 10 kA |
| Maximum Output Fault Current | 32 A |
| Overcurrent Protection Device | 30 A |
| Imbalance for Split-Phase Loads | 100% |
| Power Factor Output Range | +/- 1.0 adjustable |
| Power Factor Range (full-rated power) | +/- 0.85 |
| Internal Battery DC Voltage | 50 V |
| Round Trip Efficiency ¹ | 90% |
| Warranty | 10 years |

¹Values provided for 25°C (77°F), 3.3 kW charge/discharge power.
²In Backup mode, grid charge power is limited to 3.3 kW.
³AC to battery to AC, at beginning of life.

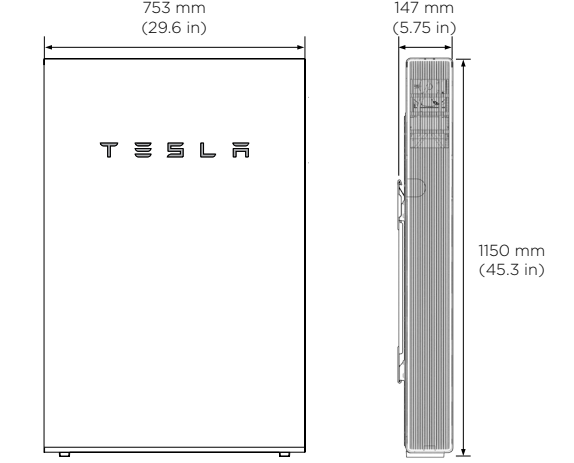
COMPLIANCE INFORMATION

| | |
|-----------------|--|
| Certifications | UL 1642, UL 1741, UL 1973, UL 9540, IEEE 1547, UN 38.3 |
| Grid Connection | Worldwide Compatibility |
| Emissions | FCC Part 15 Class B, ICES 003 |
| Environmental | RoHS Directive 2011/65/EU |
| Seismic | AC156, IEEE 693-2005 (high) |

MECHANICAL SPECIFICATIONS

| | |
|-------------------------|---|
| Dimensions ¹ | 1150 mm x 755 mm x 147 mm (45.3 in x 29.6 in x 5.75 in) |
| Weight ¹ | 114 kg (251.3 lbs) |
| Mounting options | Floor or wall mount |

¹Dimensions and weight differ slightly if manufactured before March 2019. Contact Tesla for additional information.



ENVIRONMENTAL SPECIFICATIONS

| | |
|-------------------------|--|
| Operating Temperature | -20°C to 50°C (-4°F to 122°F) |
| Recommended Temperature | 0°C to 30°C (32°F to 86°F) |
| Operating Humidity (RH) | Up to 100%, condensing |
| Storage Conditions | -20°C to 30°C (-4°F to 86°F) Up to 95% RH, non-condensing State of Energy (SoE): 20% initial |
| Maximum Elevation | 3000 m (9843 ft) |
| Environment | Indoor and outdoor rated |
| Enclosure Type | NEMA 3R |
| Ingress Rating | IP67 (Battery & Power Electronics) IP56 (Wiring Compartments) |
| Wet Location Rating | Yes |
| Noise Level @ 1m | < 40 dBA at 30°C (86°F) |

TESLA

TESLA.COM/ENERGY

ChargePoint Home Flex

Specifications and Ordering Information

Ordering Information

| Description | Model Number |
|-------------------------|--|
| Station and Cable Model | 16A-50A, NEMA 6-50 plug, 7010.4 mm (23') Charging Cable CPH50-NEMA6-50-L23 |
| | 16A-50A, NEMA 14-50 plug, 7010.4 mm (23') Charging Cable CPH50-NEMA14-50-L23 |
| Replacement Cable | 7010.4 mm (23') Charging Cable CPH50Cable-TI-50A-L23-F |



ChargePoint® Home Flex



cloud hill design. llc

Jeffrey H. Woodruff
AIA, NCARB, LEED AP
Cloud Hill Design, LLC
Snowmass CO 81654 USA

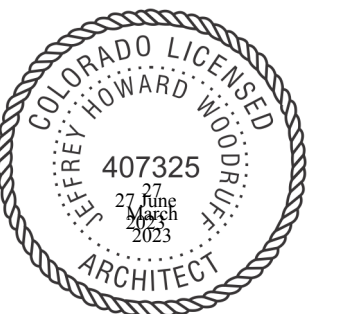
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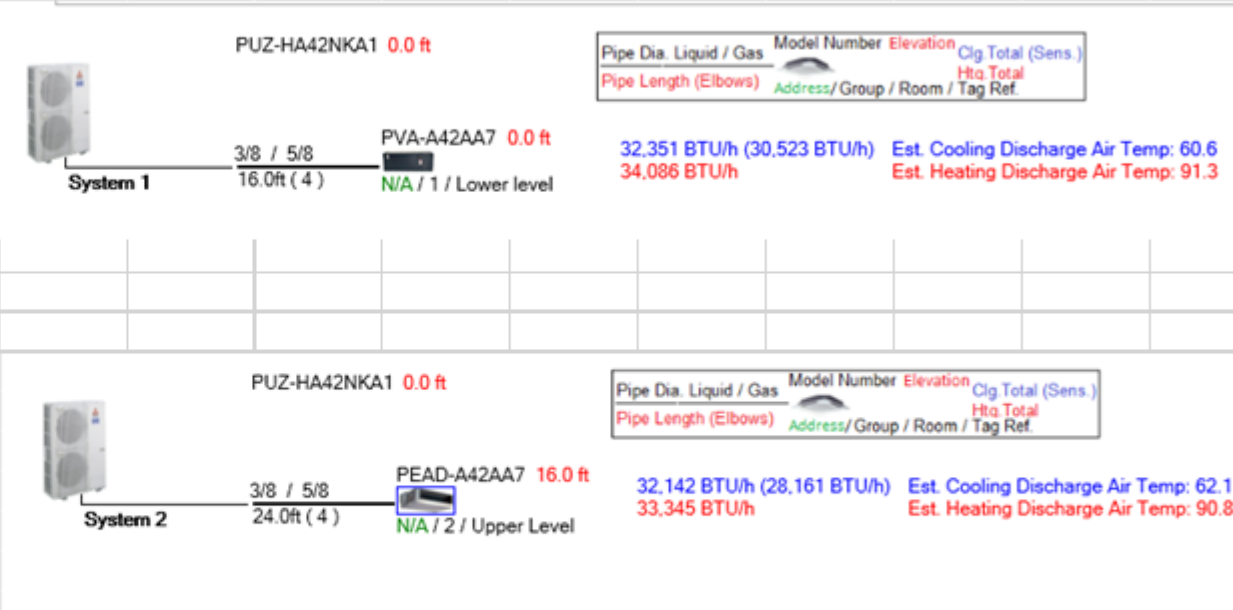
Electrical- Exterior

A- E102

SHEET 67

312 W Hyman

| | Sq Ft | Heat BTU | Cool BTU | cfm |
|--------------------|-------|----------|----------|------|
| Lower Level | | | | |
| LL Living/Mud | 604 | 15.5 | 7.9 | 357 |
| Bath 2 | 66 | 2.4 | 1.2 | 60 |
| Bed 2 | 260 | 6.2 | 3 | 154 |
| Bed 3 | 220 | 7.7 | 2.7 | 140 |
| Bath 3 | 60 | 2.3 | 1.2 | 59 |
| | 1210 | 34.1 | 16 | 770 |
| PVA-A42AA7 | | 33.3 | 32.1 | 1040 |
| PUZ-HA42NKA1 | | | | |
| Upper Level | | | | |
| Great Room | 588 | 22 | 12.2 | 609 |
| Bedroom 1 | 168 | 7.4 | 4.3 | 222 |
| Bath 1 & closet | 156 | 4.9 | 2.3 | 124 |
| | 912 | 34.3 | 18.8 | 955 |
| PEAD-A42AA7 | | 34.1 | 32.4 | 1024 |
| PUZ-HA42NKA1 | | | | |
| EH10-MPA-LB | | | | |



5 312 W Hyman Cold Sourced Heat Pump- Manual J
A- E102

CLASSIC SERIES



CROWN XL

DIMENSIONS

| | |
|--------------------|------------------|
| Seating | 6 person |
| Diameter | 84 in (213 cm) |
| Depth | 38.5 in (99 cm) |
| Weight (Dry) | 400 lbs (181 kg) |
| Operating Capacity | 330 gal (1249 L) |

JETS

| | |
|---|----|
| Total Jets | 30 |
| 5" Nordic Star™ Directional Whirlpool | 2 |
| 5" Nordic Star™ Dual Rotational | 3 |
| 3" Nordic Star™ Directional | 3 |
| 3" Nordic Star™ Dual Rotational | 4 |
| 2" Nordic Star™ Directional | 17 |
| 1" Ozonizer Ready Jet (Ozonator Optional) | 1 |

EQUIPMENT

| | |
|------------------|---|
| Volts | 220v |
| Amps | 40a |
| Control Pad | 4 button Topside w/LED Display |
| Insulation | Foam (Standard) Nordic Wrap (Optional) |
| Heater | allow |
| Light | Footwell LED (Standard) Mood Lighting Package (Optional) |
| Pump | (1) 3hp Continuous Duty |
| Bluetooth Stereo | Optional Upgrade |

PERMASHELL™ COLORS



Color samples are for reference only. Actual product color may vary slightly. Nordic Products Inc. reserves the right to change any specifications without notice.



Shell: Eclipse



Shell: Eclipse | Cabinet: Charcoal

